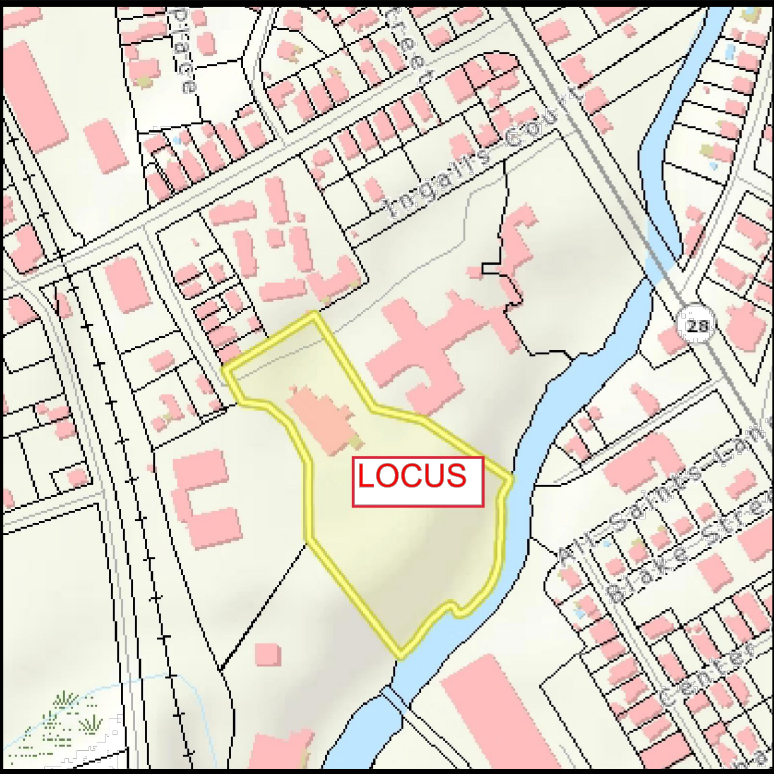


SITE PLAN FOR
Y.W.C.A. RESIDENTS AT INGALLS COURT
IN
METHUEN, MA
JULY 2021

METHUEN BOARD OF APPEALS APPROVAL

DATE



LOCUS MAP
N.T.S.

PROJECT LOCATION

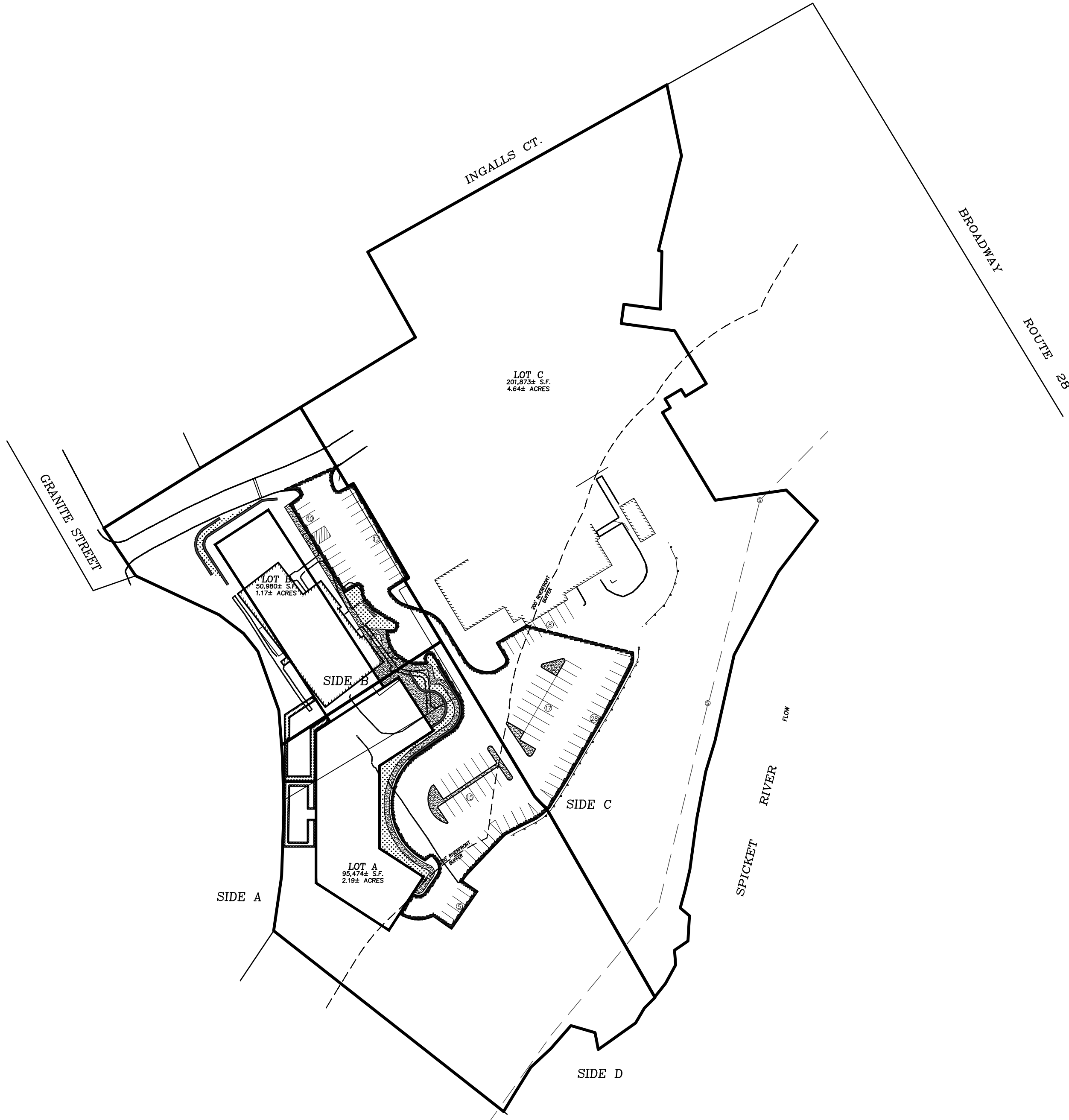
INGALLS COURT – METHUEN
MAP 716, BLOCK 115, LOT 2A

OWNER OF RECORD

HENRY C. NEVINS HOME INC.
10 INGALLS COURT
MTHUEN, MA 01844
BK. 1386 PG. 191

PLAN INDEX

SHEET NO.	TITLE
1	COVER SHEET
2	EXISTING CONDITIONS
3	SITE PLAN (PHASE 1)
4	SITE PLAN (PHASE 2)
5	GRADING PLAN
6	UTILITIES PLAN
7–8	CONSTRUCTION DETAILS
L–1	LANDSCAPE PLAN



ZONING TABLE: LOT A (PHASE 1)

INGALLS COURT ZONIGN DISTRICT: MB			
	REQUIRED	EXISTING	PROPOSED
LOT AREA:	43,560 S.F.	289,082 S.F.	95,474 S.F.
LOT FRONTAGE:	150 FT.	334.52	0 FT.
LOT WIDTH:	150 FT.	>150 FT	>150 FT.
FRONT SETBACK:	30 FT.	60.7 FT	N/A
SIDE A:	25 FT.	N/A	31.5 FT.
SIDE B:	25 FT.	N/A	0 FT.
SIDE C:	25 FT.	N/A	51.4 FT.
SIDE D:	25 FT.	N/A	192.6 FT.
REAR SETBACK:	30 FT.	123.2 FT	N/A
MAX. COVERAGE:	40% MAX.	41.3%	43.5%
BUILDING HEIGHT:	40 FT.	N/A	66.84 FT.
LANDSCAPED OPEN SPACE:	30% MIN.	58.1%	56.5%
MAX. STORIES:	3	N/A	5

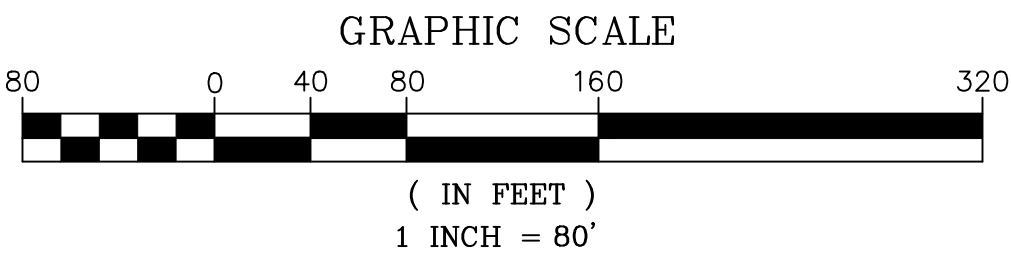
ZONING TABLE: LOT B (PHASE 2)

INGALLS COURT ZONIGN DISTRICT: MB			
	REQUIRED	EXISTING	PROPOSED
LOT AREA:	43,560 S.F.	59,245 S.F.	50,980 S.F.±
LOT FRONTAGE:	150 FT.	56.1± FT	56.1± FT
LOT WIDTH:	150 FT.	>150 FT	>150 FT
FRONT SETBACK:	30 FT.	101.1 FT	83.3 FT
SIDE SETBACK:	25 FT.	19.1 FT	0 FT.
REAR SETBACK:	30 FT.	64.2 FT	58.2 FT.
MAX. COVERAGE:	40% MAX.	39.5%	58%
BUILDING HEIGHT:	40 FT.	<40 FT.	62.0 FT.
LANDSCAPED OPEN SPACE:	30% MIN.	60.5%	42%
MAX. STORIES:	3	1	4

ZONING TABLE: LOT C

INGALLS COURT ZONIGN DISTRICT: MB			
	REQUIRED	EXISTING	PROPOSED
LOT AREA:	43,560 S.F.	289,082 S.F.	201,873 S.F.±
LOT FRONTAGE:	150 FT.	334.52	334.52
LOT WIDTH:	150 FT.	>150 FT	>150 FT
FRONT SETBACK:	30 FT.	60.7 FT	60.7 FT
SIDE SETBACK:	25 FT.	0 FT	0 FT.
REAR SETBACK:	30 FT.	123.2 FT	123.2 FT.
MAX. COVERAGE:	40% MAX.	41.3%	49.7%
BUILDING HEIGHT:	40 FT.	N/A	N/A
LANDSCAPED OPEN SPACE:	30% MIN.	58.1%	50.3%
MAX. STORIES:	3	2	N/A

PROGRESS
PRINT



PREPARED FOR
YWCA OF GREATER NEWBURYPORT FOR
THE YWCA RESIDENCE AT INGALLS COURT
13 MARKET STREET
NEWBURYPORT, MA 01950

MEI MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

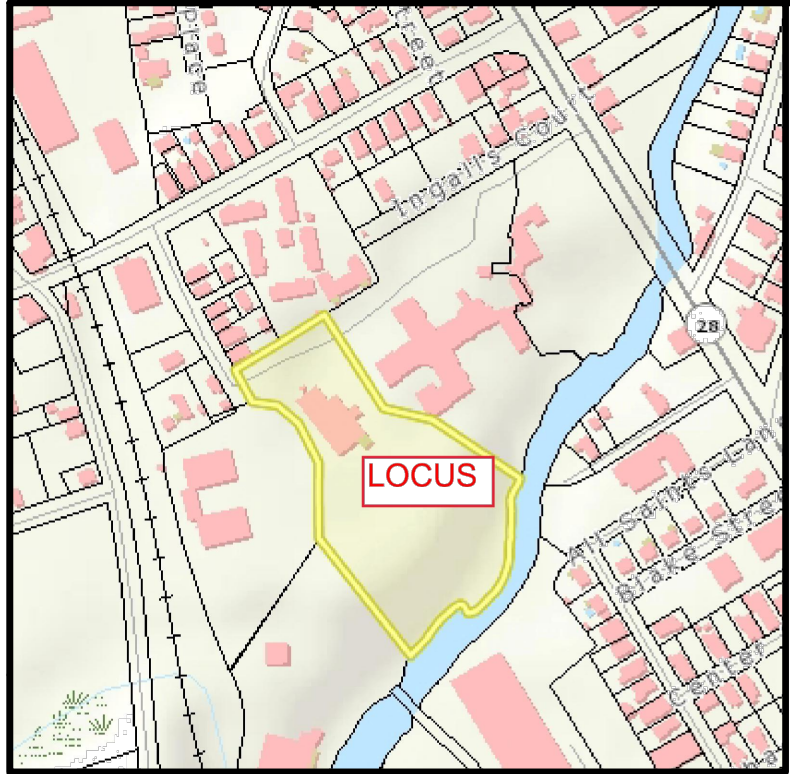
SCALE: 1"=40'
DATE: JUNE 30, 2021
DESG. BY: J.T.M.
CHKD. BY: E.W.B.
PROJECT: M213895

SITE PLAN
IN
METHUEN, MA

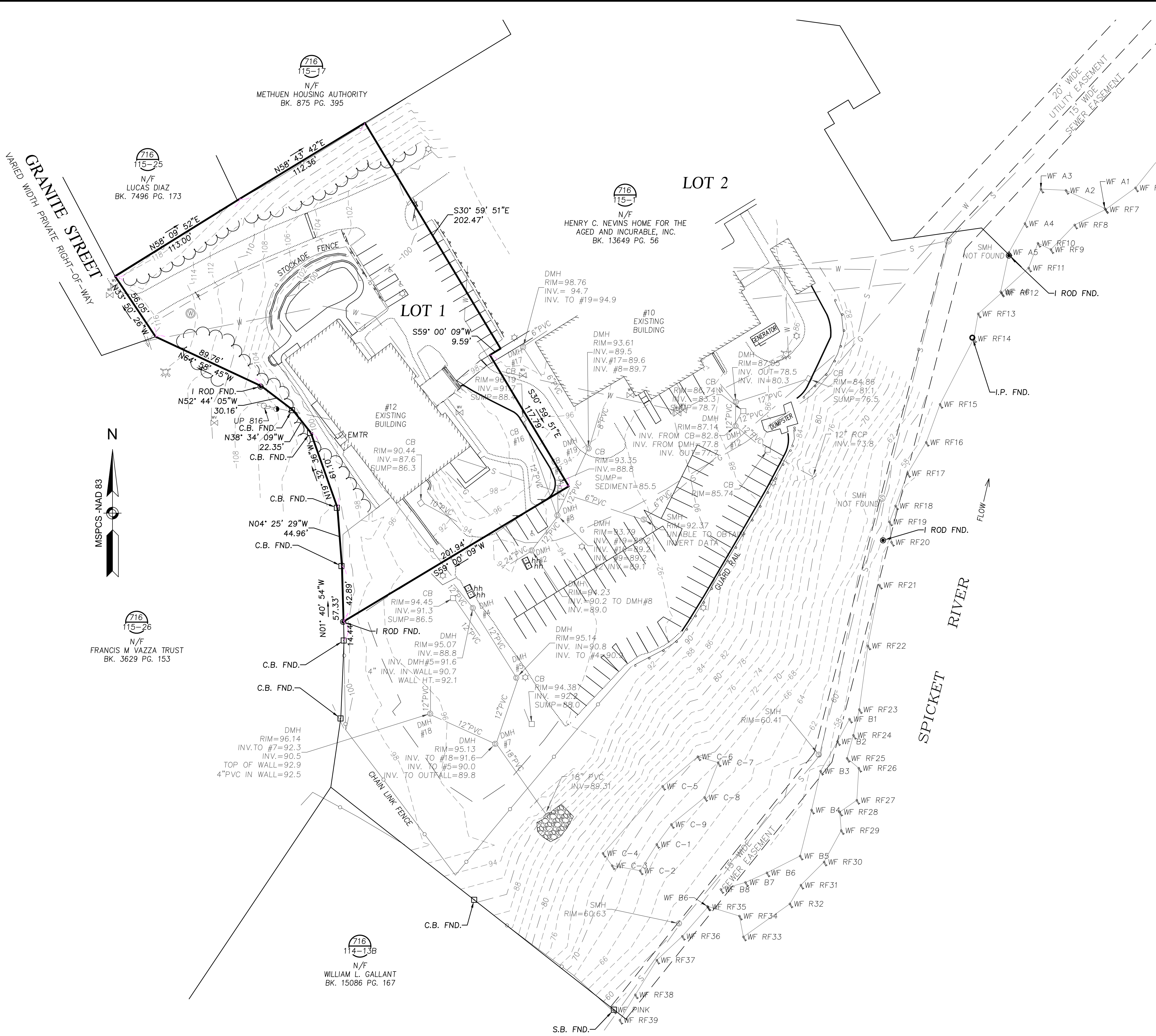
AT
12 INGALLS COURT
(MAP 716, BLOCK 115, LOT 2A)

COVER
SHEET

SHEET: 1 OF 8



LOCUS MAP
N.T.S.



BASIS OF BEARINGS
MASS. STATE PLANE COORD. SYSTEM
NAD 83

OWNER OF RECORD
HENRY C NEVINS HOME INC.
10 INGALLS COURT
METHUEN, MA 01844
BK. 13649 PG. 56
WITH EXCEPTION AT
BK. 15594 PG. 192

PLAN REFERENCES
PLAN NO. 17827
PLAN NO. 12503
PLAN NO. 11951
PLAN NO. 8121

WETLAND DELINEATED BY:
SEEKAMP ENVIRONMENTAL
CONSULTING, INC.
129 ROUTE 125
KINGSTON, NH. 03848
(603) 642-8300
(DELINEATED ON: MARCH 2021)

NOTES:
THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
RECORD UTILITY INFORMATION HAS BEEN OBTAINED FOR LOCUS. VISIBLE SURFACE STRUCTURES HAVE BEEN LOCATED AND ARE SHOWN HEREON HOWEVER.

THE CERTIFICATIONS SHOWN HEREON ARE NOT INTENDED AS CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN/CITY ASSESSORS RECORDS.

I CERTIFY:
THAT THIS ACTUAL SURVEY WAS MADE ON THE GROUND BETWEEN MARCH 24, 2021, AND APRIL 12, 2021, AND THAT THE STRUCTURES AND PHYSICAL FEATURES ARE LOCATED AS SHOWN TO THE BEST OF MY ABILITY AND BELIEF.

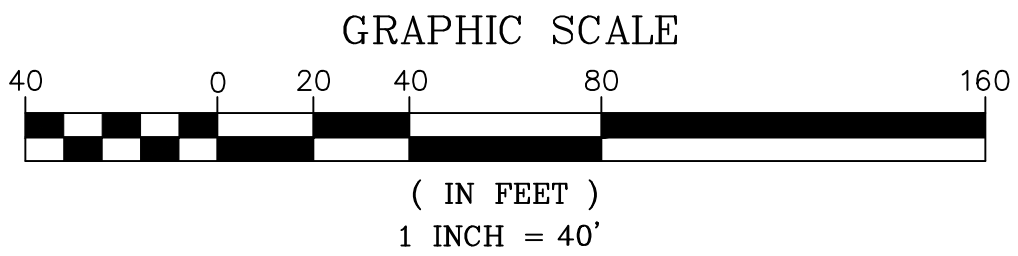
I CERTIFY:
THAT THE PROPERTY LINES SHOWN ARE THE LINES OF EXISTING OWNERSHIP AND THE LINES OF STREETS AND WAYS SHOWN ARE THE LINES OF STREETS AND WAYS ALREADY EXISTING AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW STREETS OR WAYS ARE SHOWN.

THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

**PROGRESS
PRINT**

PROFESSIONAL LAND SURVEYOR DATE

- LEGEND**
- C.B. CONCRETE BOUND
 - S.B. STONE BOUND
 - I.P. IRON PIPE
 - I ROD IRON ROD
 - FND. FOUND
 - N/F NOW OR FORMERLY
 - H.H. ELECTRIC HANDHOLE
 - LP LIGHTPOLE
 - UPOLE UTILITY POLE
 - D DRAINAGE
 - W WATER
 - S SEWER
 - G GAS
 - OHW OVERHEAD WIRE
 - CB CATCH BASIN
 - DMH DRAIN MANHOLE
 - SMH SEWER MANHOLE
 - MONITORING WELL
 - HYDRANT
 - WATER SHUT OFF
 - WATER VALVE
 - ASSESSORS MAP#
 - BLOCK# PARCEL#



PREPARED FOR
**YWCA OF GREATER NEWBURYPORT FOR
THE YWCA RESIDENCE AT INGALLS COURT**
13 MARKET STREET
NEWBURYPORT, MA 01950

NO.	DATE	DESCRIPTION	BY

MEI **MILLENNIUM ENGINEERING, INC.**
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=40'	CALC. BY: P.D.B.	PROJECT: M213895
DATE: JUNE 15, 2021	CHKD. BY: J.S.H.	

**SITE PLAN
IN
METHUEN, MA**

AT
12 INGALLS COURT
(MAP 716, BLOCK 115, LOT 2A)

**EXISTING
CONDITIONS**

DATE

LEGEND

110

EXIST. CONTOUR

111

PROP. CONTOUR

PROP. RETAINING WALL

D

PROP. DRAIN LINE

RD

PROP. PERFORATED ROOF DRAIN

UE

PROP. UNDERGROUND ELECTRIC

PROP. CATCH BASIN

EXIST. CATCH BASIN

EXIST. UTILITY POLE

WETLANDS

PROP. BUILDING LIGHT

PROP. BIT. CONC. CURB

The diagram is a detailed site plan for a residential development. It features three main lots: Lot A (95,474± S.F., 2.19± ACRES), Lot B (50,980± S.F., 1.17± ACRES), and Lot C (201,873± S.F., 4.64± ACRES). Lot A contains a 'PROP. 16,233 S.F. BUILDING (PHASE 1)' and is divided into 'SIDE A', 'SIDE B', and 'SIDE C'. Lot B includes a 'STOCKPILING FENCE' and a 'PROP. PATIO'. Lot C shows an '#10 EXISTING BUILDING' and a 'GENERATOR'. The plan also depicts various wetlands (WF C-1 to C-9, WF B1 to B8, WF RF1 to RF39), easements (15' WETLAND EASEMENT, 18' WETLAND EASEMENT, 20' WETLAND EASEMENT, 15' WETLAND EASEMENT), and other features like 'PROP. SIDEWALK', 'PROP. RIVERFRONT BUFFER', 'CHAIN LINK FENCE', and 'GUARD RAIL'. A north arrow and a 'FLOW' indicator are present. Dimensions are provided for various setbacks and boundaries, such as 101.1', 118.2', 25.2', 58.2', 7.0', 51.4', 19.1', 7.7', 31.5', 192.6', 100' WETLAND BUFFER, and 150' WETLAND BUFFER. The plan is bounded by 'GRANITE STREET' to the west and 'SPICKET RIVER' to the east.

PROGRESS
PRINT

GRAPHIC SCALE

(IN FEET)
1 INCH = 40'

PREPARED FOR
YWCA OF GREATER NEWBURYPORT FOR
THE YWCA RESIDENCE AT INGALLS COURT
13 MARKET STREET
NEWBURYPORT, MA 01950

NO.	DATE	DESCRIPTION	BY

MEI

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ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=40'

DATE: JUNE 30, 2021

DESIGN BY: J.T.M.

CHKD. BY: E.W.B.

PROJECT: M213895

SITE PLAN
IN
METHUEN, MA

AT
12 INGALLS COURT
(MAP 716, BLOCK 115, LOT 2A)

SITE PLAN
PHASE I

SHEET: 3 OF 8

DATE

LEGEND

110

EXIST. CONTOUR

111

PROP. CONTOUR

PROP. RETAINING WALL

D

PROP. DRAIN LINE

RD

PROP. PERFORATED ROOF DRAIN

UE

PROP. UNDERGROUND ELECTRIC

PROP. CATCH BASIN

EXIST. CATCH BASIN

EXIST. UTILITY POLE

WETLANDS

PROP. BUILDING LIGHT

PROP. BIT. CONC. CURB

The site plan illustrates three lots: Lot A (95,474± S.F., 2.19± ACRES), Lot B (50,980± S.F., 1.17± ACRES), and Lot C (201,873± S.F., 4.64± ACRES). Lot A is divided into Side A, Side B, and Side C. Lot B contains a proposed 12,800 S.F. building (Phase 2) and an existing building #12. Lot C features an existing building #10 and a proposed patio. The plan also shows the Spicket River, wetlands (WF RF13-WF RF39), and various infrastructure elements like fences, sidewalks, and gardens. Dimensions for setbacks and lot boundaries are provided throughout the plan.

PROGRESS
PRINT

GRAPHIC SCALE
(IN FEET)
1 INCH = 40'

PREPARED FOR
YWCA OF GREATER NEWBURYPORT FOR
THE YWCA RESIDENCE AT INGALLS COURT
13 MARKET STREET
NEWBURYPORT, MA 01950

NO.	DATE	DESCRIPTION	BY

MEI

MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=40'

DATE: JUNE 30, 2021

DESIG. BY: J.T.M.

CHKD. BY: E.W.B.

PROJECT: M213895

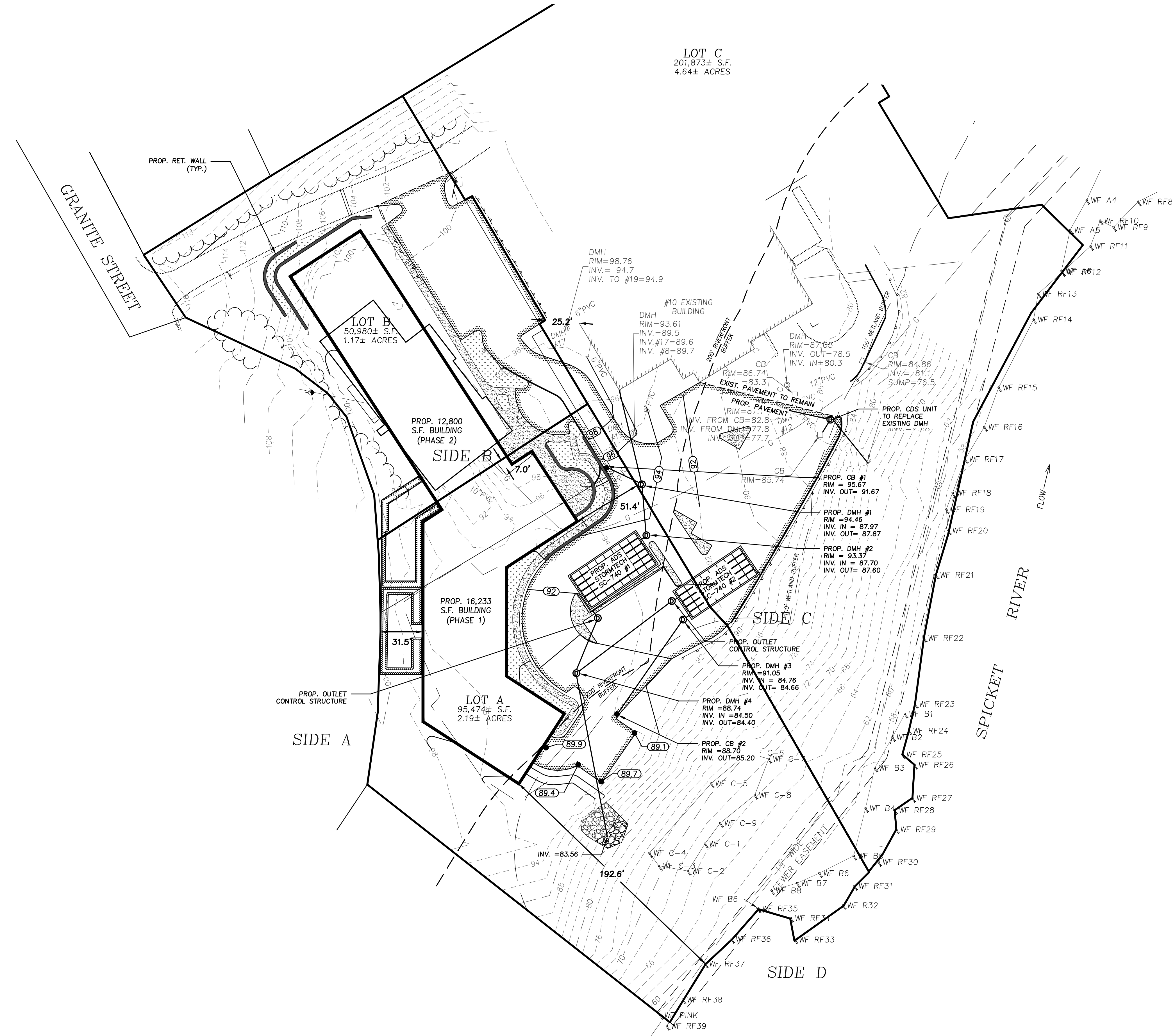
SITE PLAN
IN
METHUEN, MA

AT
12 INGALLS COURT
(MAP 716, BLOCK 115, LOT 2A)

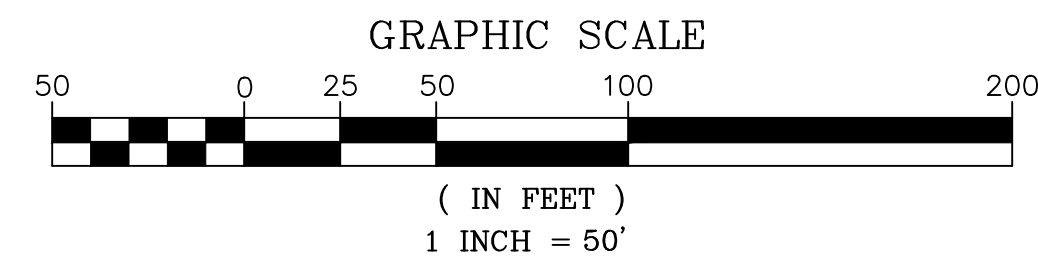
SITE PLAN
PHASE II

SHEET: 4 OF 8

DATE



PROGRESS
PRINT



PREPARED FOR
YWCA OF GREATER NEWBURYPORT FOR
THE YWCA RESIDENCE AT INGALLS COURT
13 MARKET STREET
NEWBURYPORT, MA 01950

NO.	DATE	DESCRIPTION	BY



MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=40'	DES. BY: J.T.M.	PROJECT: M213895
DATE: JUNE 30, 2021	CHKD. BY: E.W.B.	

SITE PLAN
IN
METHUEN, MA

AT
12 INGALLS COURT
(MAP 716, BLOCK 115, LOT 2A)

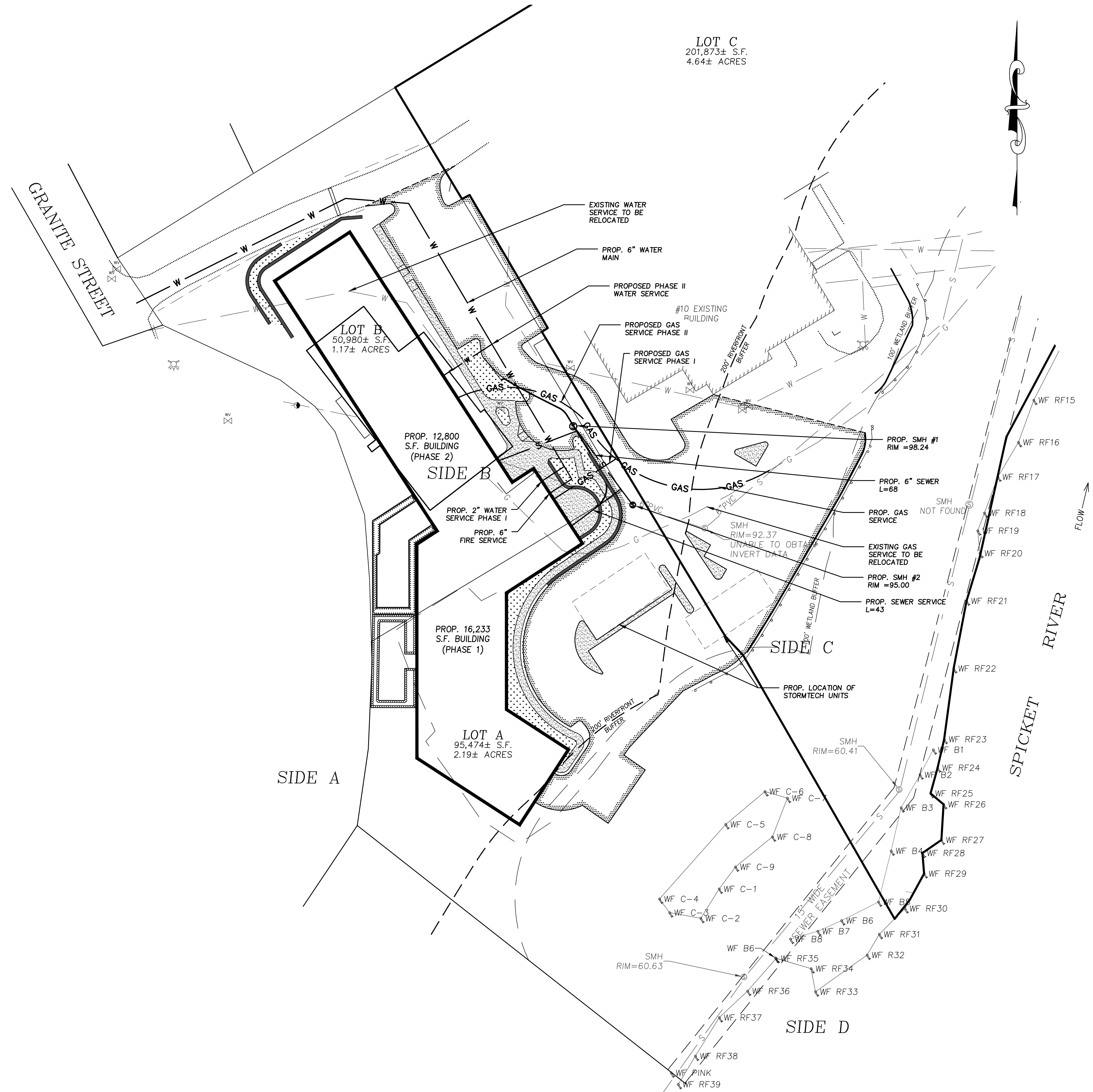
GRADING
AND
DRAINAGE
PLAN

SHEET: 5 OF 8

3. ALL WORK SHALL CONFORM TO; THE NEWBURY PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, THE WETLANDS PROTECTION ACT (310 CMR 10.00), THE ORDER OF CONDITIONS ISSUED BY THE NEWBURY CONSERVATION COMMISSION, AND THESE PLANS.
2. THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS. ANY PROPOSED REVISIONS TO THE WORK SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND REGULATING MUNICIPAL AND/OR STATE AGENCIES.
3. THE LOCATION OF ALL UTILITIES, AS SHOWN ON THESE PLANS, ARE BASED UPON PLANS AND RECORD INFORMATION PROVIDED BY MUNICIPAL AND PRIVATE UTILITY COMPANIES AND ARE CONSIDERED APPROXIMATE BOTH AS TO SIZE AND LOCATION. NO WARRANTY IS MADE TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UTILITIES ARE SHOWN. THE CONTRACTOR SHALL NOT RELY ON THESE PLANS FOR SUCH INFORMATION AND SHALL MAKE EXAMINATIONS IN THE FIELD BY VARIOUS AVAILABLE RECORDS, UTILITY COMPANIES AND INDIVIDUALS, AS TO THE LOCATION OF ALL SUBSURFACE STRUCTURES.
4. THE CONTRACTOR SHALL FIELD CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE NEW WORK. HE/SHE SHALL EXCAVATE TO VERIFY PERTINENT DRAINAGE INVERTS AND POTENTIAL UTILITY CONFLICTS. ANY DISCREPANCIES MUST BE REPORTED TO THE OWNER IMMEDIATELY.
5. THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF THE PUBLIC, EMPLOYEES, AND ALL OTHER PERSONS ASSOCIATED WITH THE PROJECT. HE/SHE SHALL COORDINATE AND BE RESPONSIBLE FOR ALL SAFETY SIGNING, BARRIERS AND TEMPORARY PAVEMENT MARKINGS NECESSARY TO PROVIDE A SMOOTH AND PROPER TRANSITION FOR TRAFFIC FLOW.
6. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES BY CONTACTING "DIG-SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION. DIG-SAFE TELEPHONE NUMBER: 1-888-344-7233.
7. 14 DAYS PRIOR TO COMMENCING CONSTRUCTION, THE OWNER/DEVELOPER SHALL PRESENT A CONSTRUCTION SCHEDULE TO THE PLANNING DEPARTMENT.
8. TWO HARD COPIES OF AS-BUILT DRAWINGS SHALL BE SUBMITTED TO THE PLANNING DEPARTMENT UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL INCLUDE ALL LANDBASE AND UTILITIES INFORMATION.
9. ONSITE BURIAL OF STUMPS OR ANY OTHER DEBRIS IS PROHIBITED.
10. THE PROPERTY DOES NOT LIE WITHIN THE 100-YEAR FLOOD PLAIN ACCORDING TO F.I.R.M. COMMUNITY PANEL NUMBER 25009C0117G.
11. ELEVATIONS ARE BASED UPON AN 1988 NAV DATUM.
12. SIZE AND LOCATION OF THE FIRE SERVICE TO BE DESIGNED BY A FIRE PROTECTION DESIGNER. PIPE SHALL BE DR18 IN 40' LENGTHS WITH FUSED JOINTS.
13. WATER AND SEWER MAINS SHOWN ARE APPROXIMATE. FURTHER INFORMATION IS REQUIRED FROM NEWBURYPORT DPS PRIOR TO CONSTRUCTION TO VERIFY SIZE AND LOCATION OF THESE UTILITIES.

1. THE SIZE OF THE FIRE SERVICE SHALL BE SIZED AND DESIGNED BY A FIRE PROTECTION PROFESSIONAL. THE PROPOSED SIZE IS APPROXIMATE.
2. THE SIZE OF THE DOMESTIC SERVICE SHALL BE DESIGNED ONCE ADDITIONAL MEP INFORMATION FOR THE BUILDING IS PROVIDED.
3. THE SIZE AND LOCATION OF EXISTING WATER MAINS AND SERVICES ARE BASED ON WATER INFORMATION FROM THE CITY OF METHUEN AND FIELD VERIFICATION.

1. THE SIZE AND LOCATION OF THE EXISTING GAS SERVICE IS APPROXIMATE.
2. FINAL DESIGN OF PROPOSED GAS SERVICE TO BE PROVIDED BY GAS COMPANY.



DATE

GRAPHIC SCALE

A horizontal scale bar with markings at 50, 0, 25, 50, 100, and 200. The segment from 0 to 50 is divided into five equal parts, each containing a black and white checkerboard pattern. The segment from 50 to 100 is solid black. The segment from 100 to 200 is also solid black.

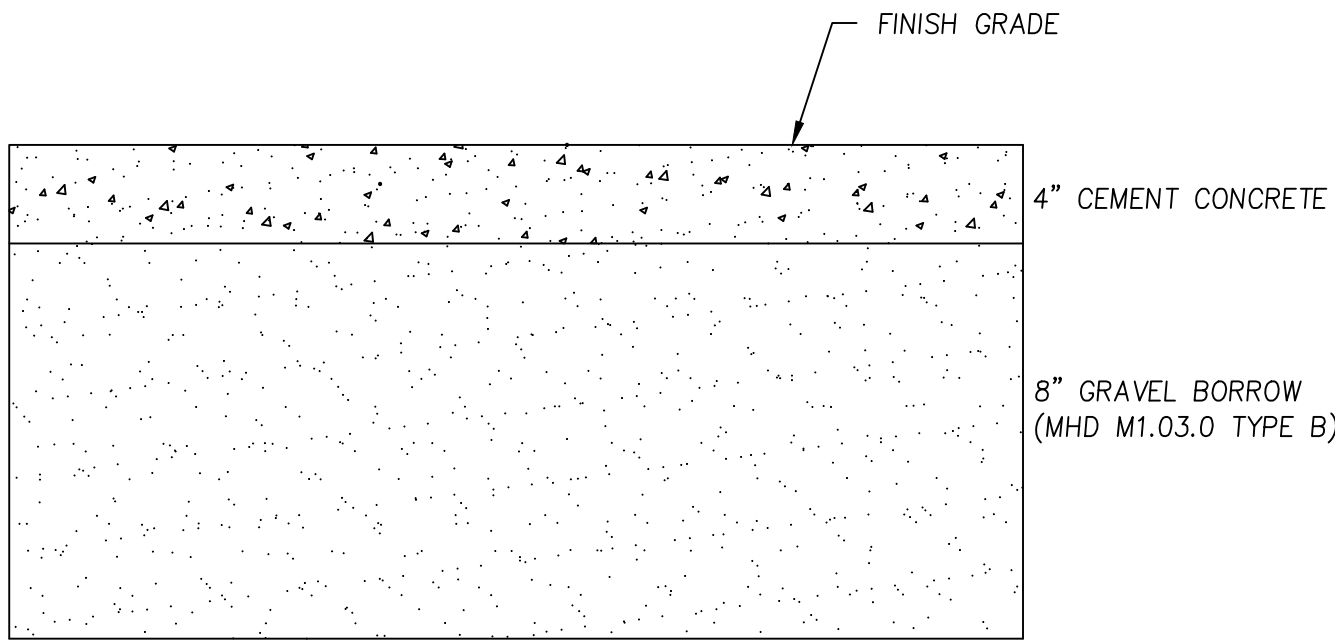
(IN FEET)
1 INCH = 50'

[illegible]

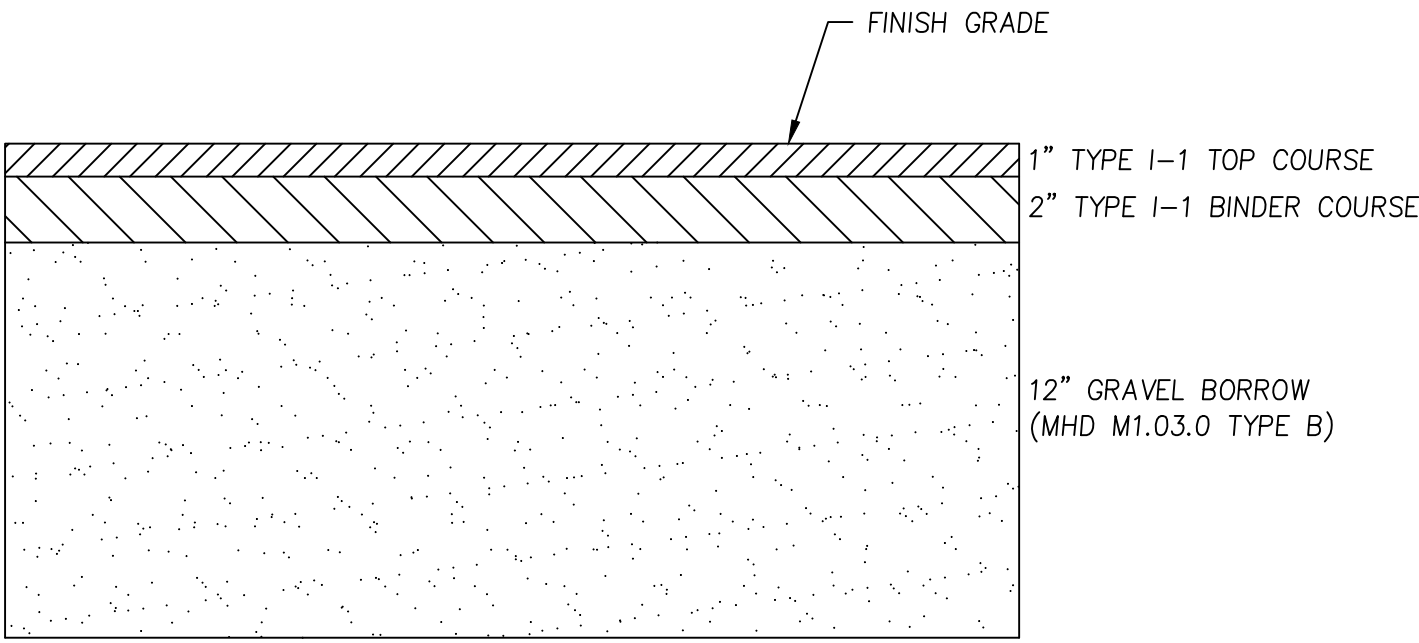
SITE PLAN
IN
METHUEN, MA

AT
12 INGALLS COURT
(MAP 716, BLOCK 115, LOT 2A)

SHEET: 6 OF 8



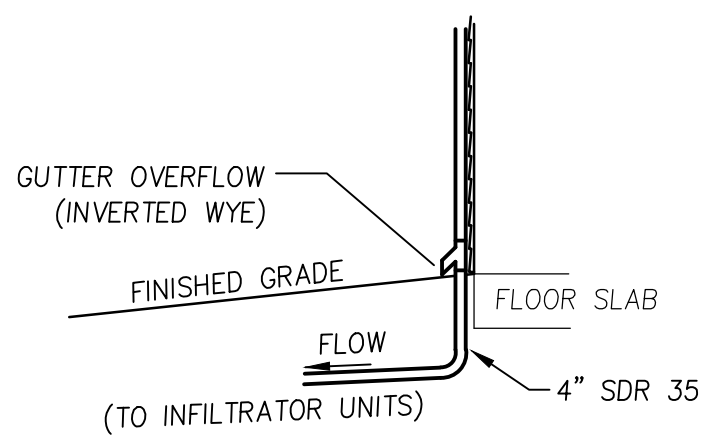
CONCRETE SIDEWALK
DETAIL N.T.S.



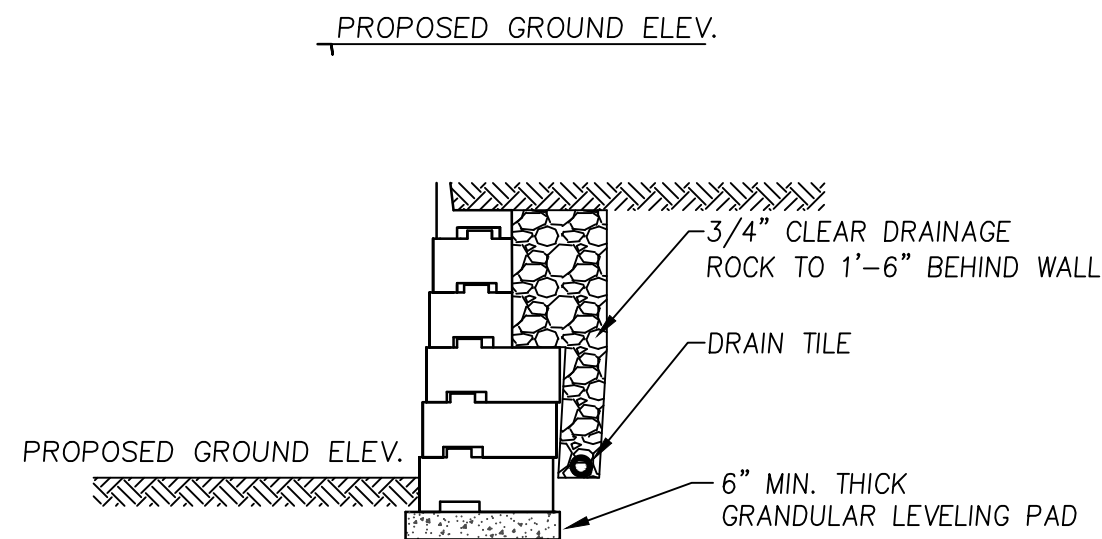
PAVEMENT
DETAIL N.T.S.

PAVEMENT NOTES

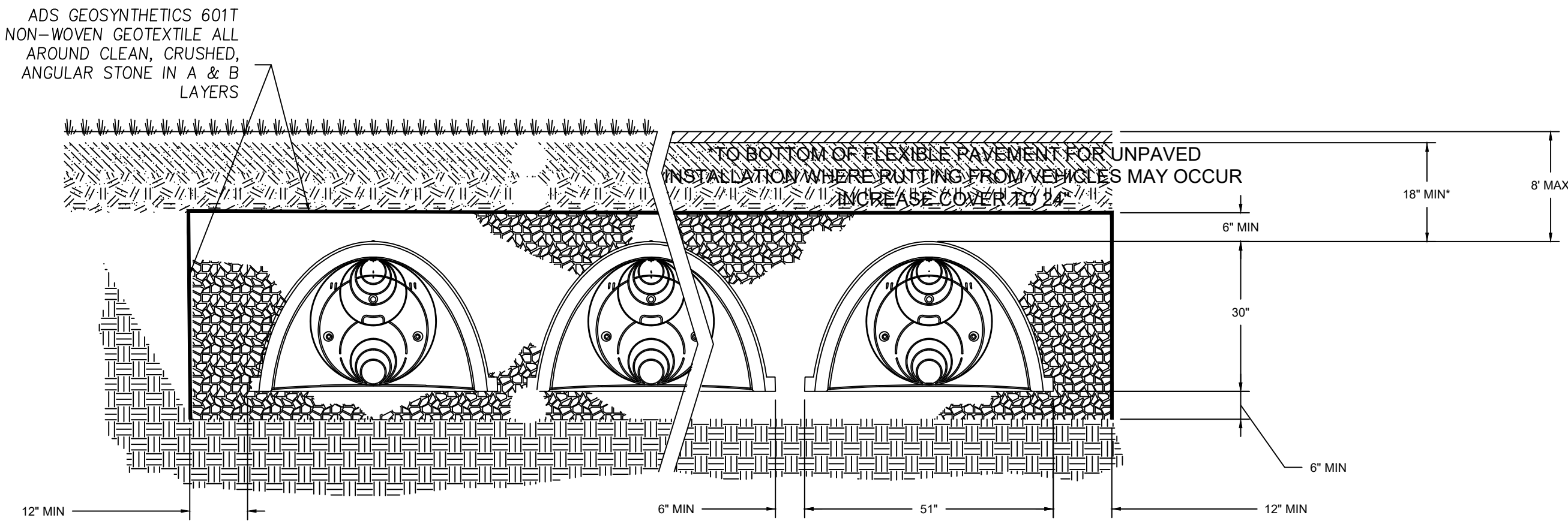
- 1.) ALL STUMPS, ROCKS AND LEDGE WITHIN THE LIMITS OF THE PROPOSED PAVED WAY SHALL BE REMOVED. ALL LEDGE SHALL BE REMOVED TO A MINIMUM DEPTH OF 2' BELOW FINISHED PAVEMENT GRADE.
- 2.) PAVEMENT SHALL NOT BE CONSTRUCTED DURING FREEZING WEATHER OR ON WET OR FROZEN SUBGRADE.
- 3.) GRADING AND ROLLING SHALL BE REQUIRED TO PROVIDE A SMOOTH, EVEN, AND UNIFORM COMPACTED BASE WHICH IS COMPACTED TO A MINIMUM DRY DENSITY OF 95 PERCENT.
- 4.) ALL UNSUITABLE MATERIAL SHALL BE EXCAVATED AND REPLACED WITH SATISFACTORY MATERIAL AND BROUGHT UP TO GRADE WITH GRAVEL BORROW CONTAINING NO STONES GREATER THAN 6" DIAMETER.
- 5.) AT ALL TIMES DURING CONSTRUCTION, THE SUB-GRADE AND ALL DITCHES SHALL BE CONSTRUCTED AND MAINTAINED SO THAT THE TRACK WILL EFFECTIVELY BE DRAINED.
- 6.) THE CONTRACTOR SHALL REFER TO THE NEWBURY PLANNING BOARD RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, ARTICLES I – VIII.



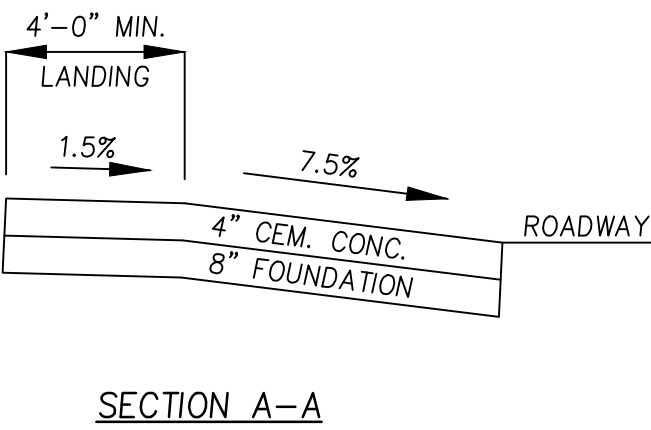
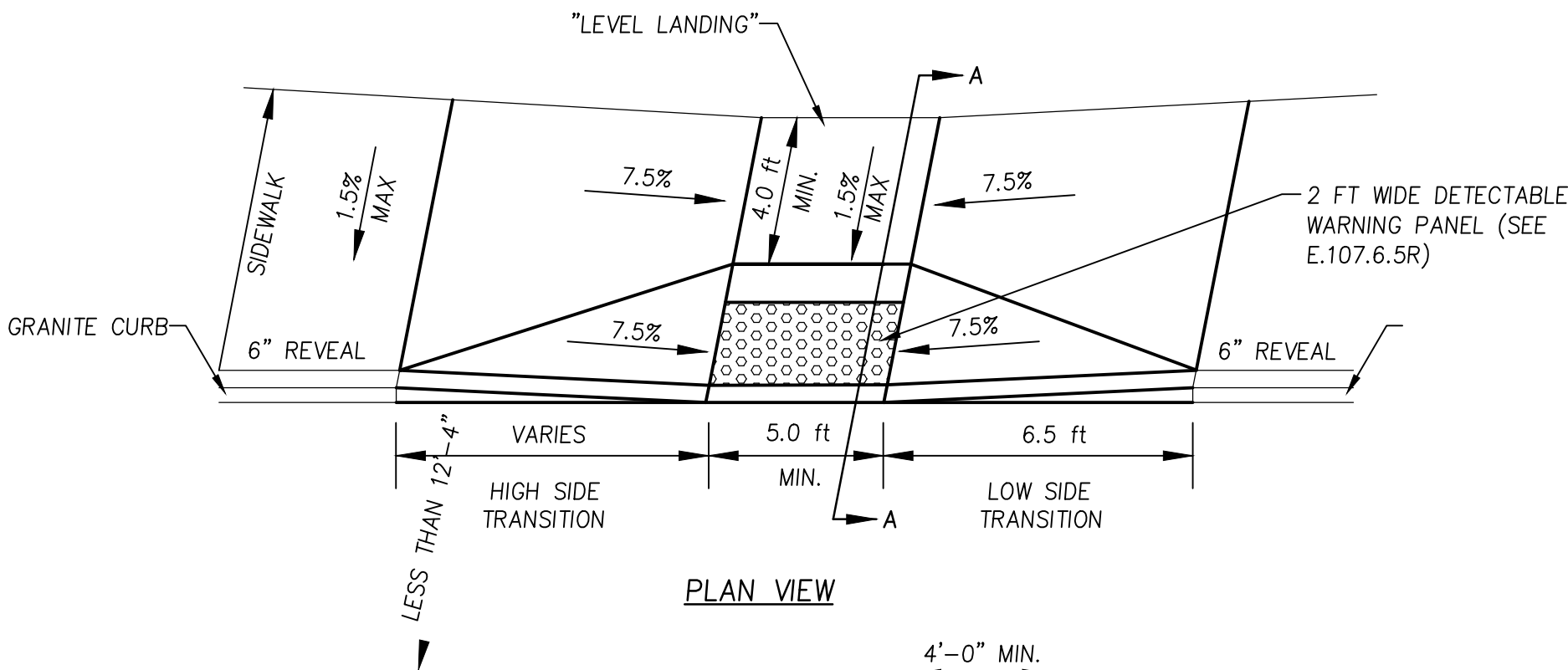
GUTTER DOWN
SPOUT DETAIL N.T.S.



SEGMENTAL BLOCK
RETAINING WALL N.T.S.

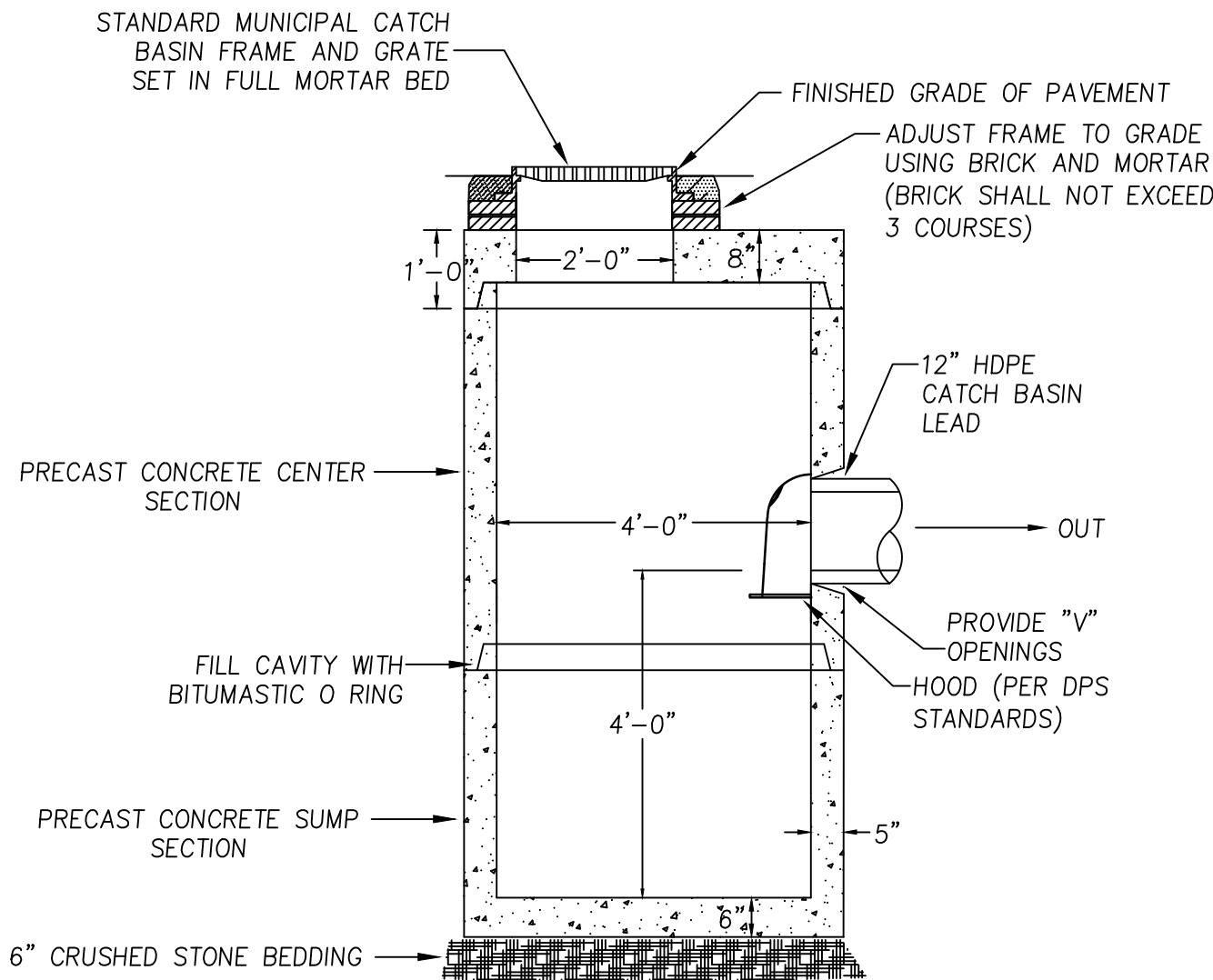


STORMTECH SC 740
INFILTRATION CHAMBER N.T.S.



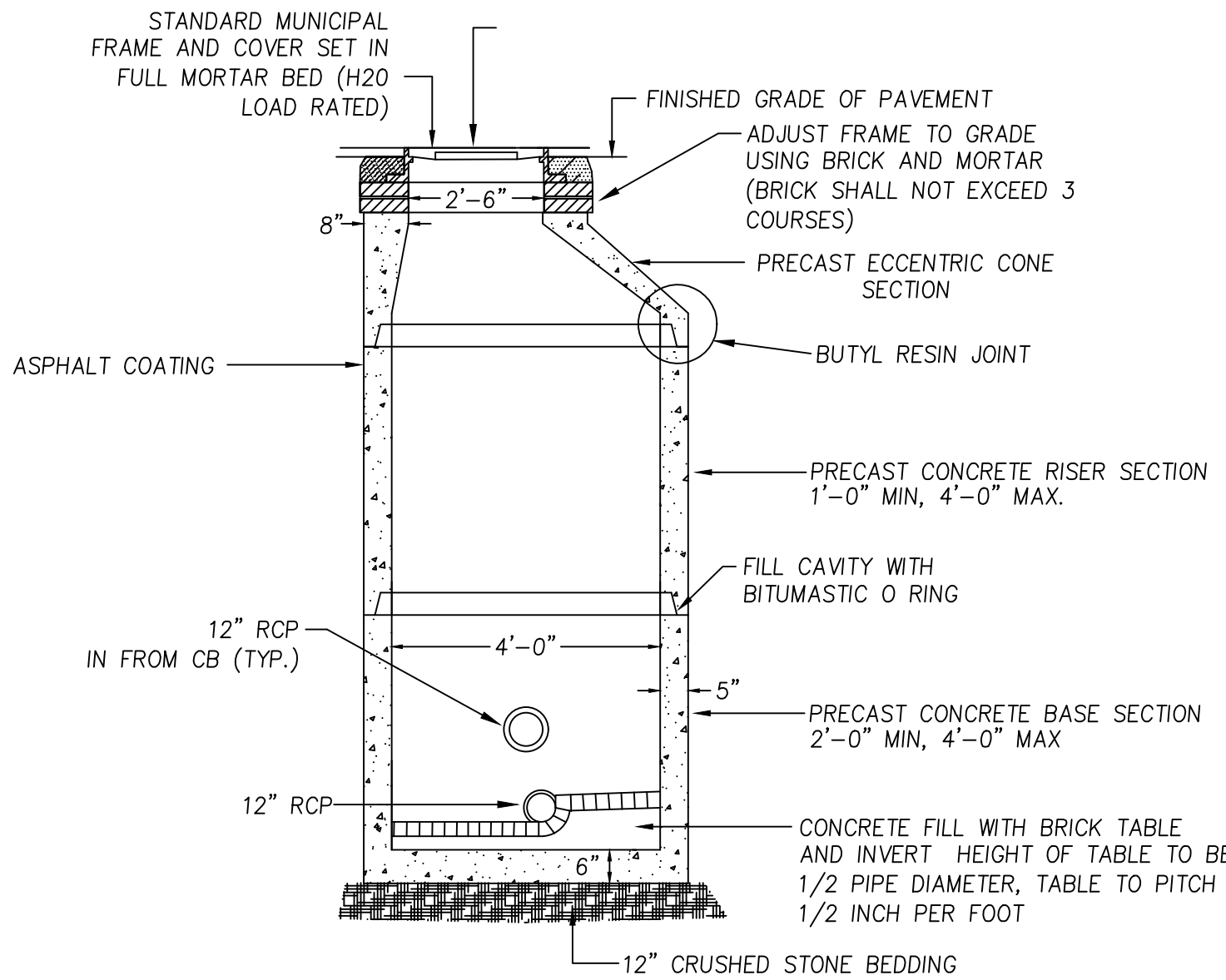
- NOTES:
- RAMP CROSS SECTION TO BE SAME AS SIDEWALK; I.E. DEPTH OF SURFACE AND FOUNDATION.
 - BASE OF RAMP SHALL MEET PAVEMENT GUTTER SUCH THAT THERE IS NO DIFFERENCE IN ELEVATION. RAMP SHALL BE CONSTRUCTED SUCH THAT WATER DOES NOT "PUDDLE" AT THE BASE OF THE RAMP.
 - THE PAVEMENT AT THE BASE OF THE RAMP SHALL BE PART OF THE CONTINUOUS TOP COURSE. THE USE OF A "PAVEMENT PATCH" TO COMPLY WITH THE CONDITIONS IN NOTE 2, ABOVE IS PROHIBITED.
 - RAMPS SHALL CONFORM TO MASS DOT WHEELCHAIR RAMP STANDARDS – LATEST REVISIONS.

CEMENT CONCRETE WHEELCHAIR
RAMP DETAIL N.T.S.



- NOTES:
- 1) CATCH BASINS SHALL CONFORM TO ASTM C478 AND ASTM C185
 - 2) FLAT TOP STRUCTURES SHALL BE PRECAST SECTIONS AND HAVE A 28 DAY COMPRESSIVE STRENGTH OF 5000 PSI REINFORCED FOR AASHTO H-20 LOADING.
 - 3) CONICAL SECTIONS MAY BE SUBSTITUTED FOR FLAT-TOP STRUCTURES IN AREAS WHERE MORE THAN 4 FEET OF COVER IS PROVIDED FOR DRAIN PIPE.

PRECAST CATCH
BASIN DETAIL N.T.S.



- NOTES:
- 1) DRAIN MANHOLES SHALL CONFORM TO ASTM C478 AND ASTM C185
 - 2) FLAT TOP STRUCTURES SHALL BE PRECAST SECTIONS AND HAVE A 28 DAY COMPRESSIVE STRENGTH OF 5000 PSI REINFORCED FOR AASHTO H-20 LOADING.
 - 3) CONICAL SECTIONS MAY BE SUBSTITUTED FOR FLAT-TOP STRUCTURES IN AREAS WHERE MORE THAN 4 FEET OF COVER IS PROVIDED FOR DRAIN PIPE.

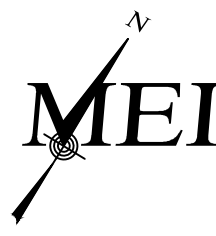
PRECAST DRAIN
MANHOLE DETAIL N.T.S.

METHUEN BOARD OF APPEALS APPROVAL

DATE

PROGRESS
PRINT

PREPARED FOR
YWCA OF GREATER NEWBURYPORT FOR
THE YWCA RESIDENCE AT INGALLS COURT
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NEWBURYPORT, MA 01950



MILLENNIUM ENGINEERING, INC.
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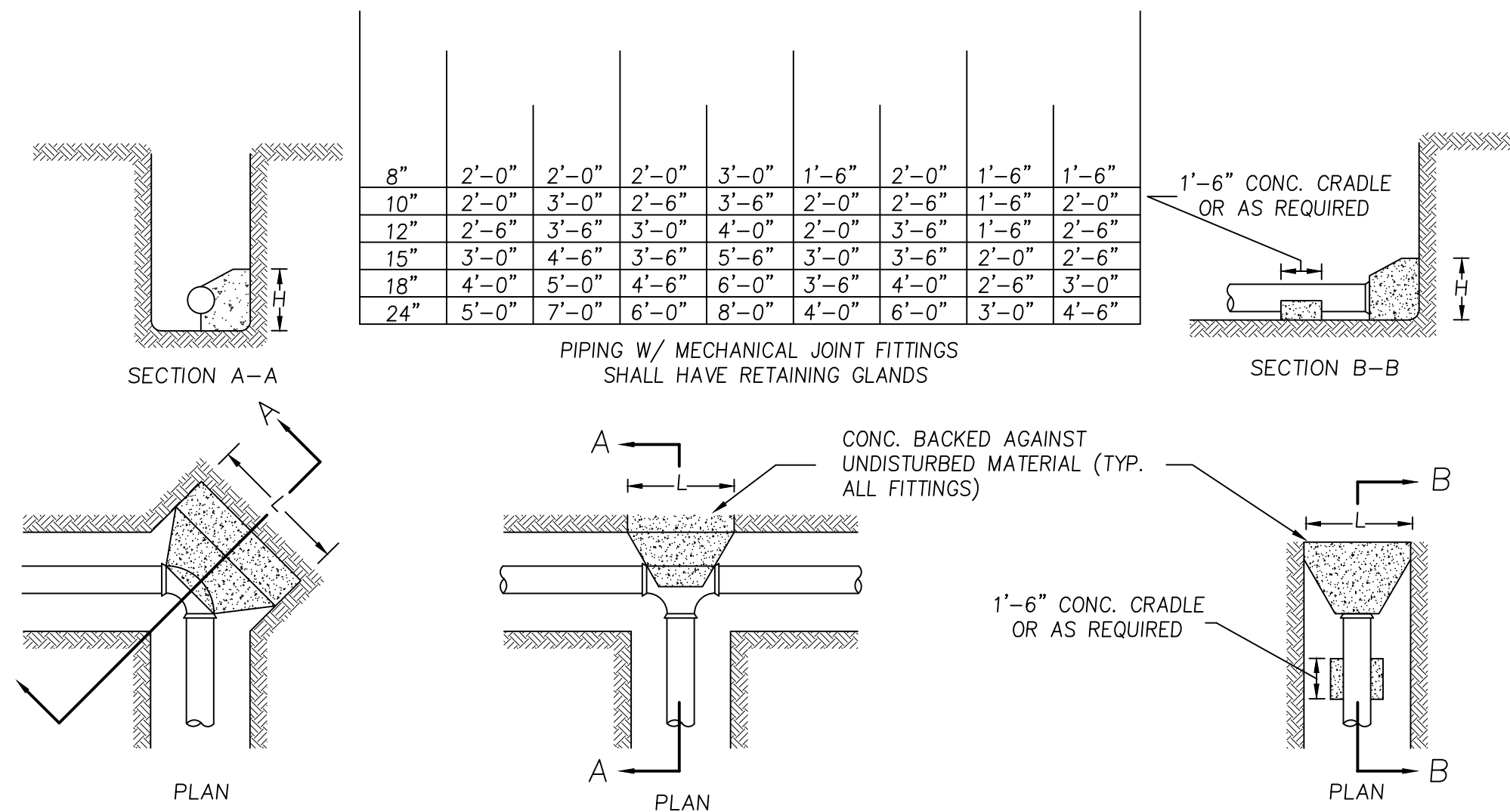
SCALE: AS SHOWN
DATE: JUNE 30, 2021
DESIGNED BY: J.T.M.
CHECKED BY: E.W.B.
PROJECT: M213895

SITE PLAN
IN
METHUEN, MA

AT
12 INGALLS COURT
(MAP 716, BLOCK 115, LOT 2A)

CONSTRUCTION
DETAILS

SHEET: 7 OF 8

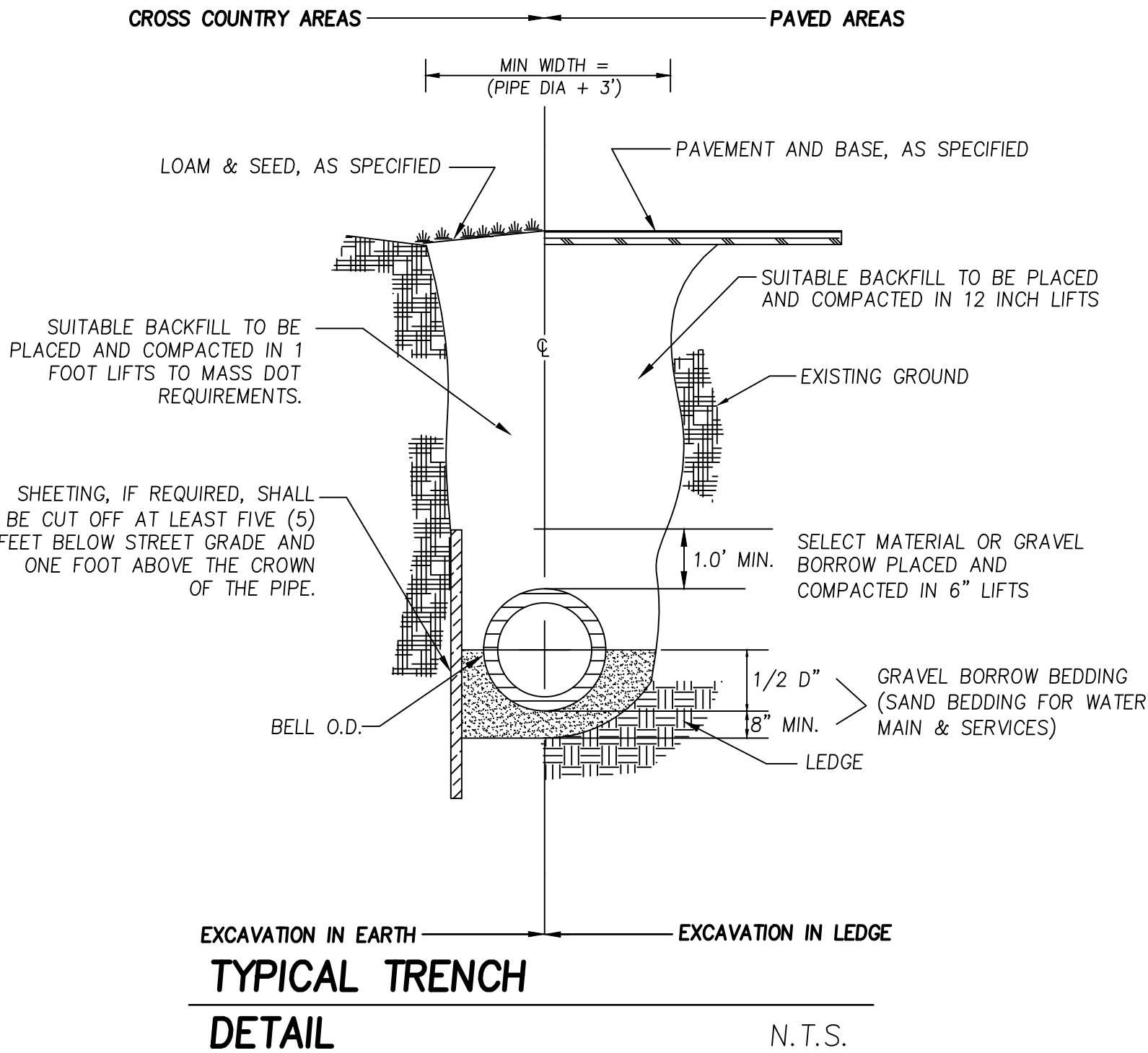


NOTES

- VALUES SHOWN ARE FOR TEST PRESSURE OF 150 PSI WITH A 100 PSI SURGE ALLOWANCE.
- THRUST BLOCKS SHALL NOT BE PLACED AGAINST THE FOLLOWING SOILS: PEAT, ORGANIC SILT AND ORGANIC SOILS, SOFT CLAY, RUBBISH FILL AND OTHER UNSUITABLE ARTIFICIAL FILL, SHATTERED SHALE, INORGANIC SILT AND VERY FINE SANDS.
- POURED CONCRETE THRUST BLOCKS SHALL NOT COVER ANY JOINTS, CLAMPS, NUTS, BOLTS, ETC.

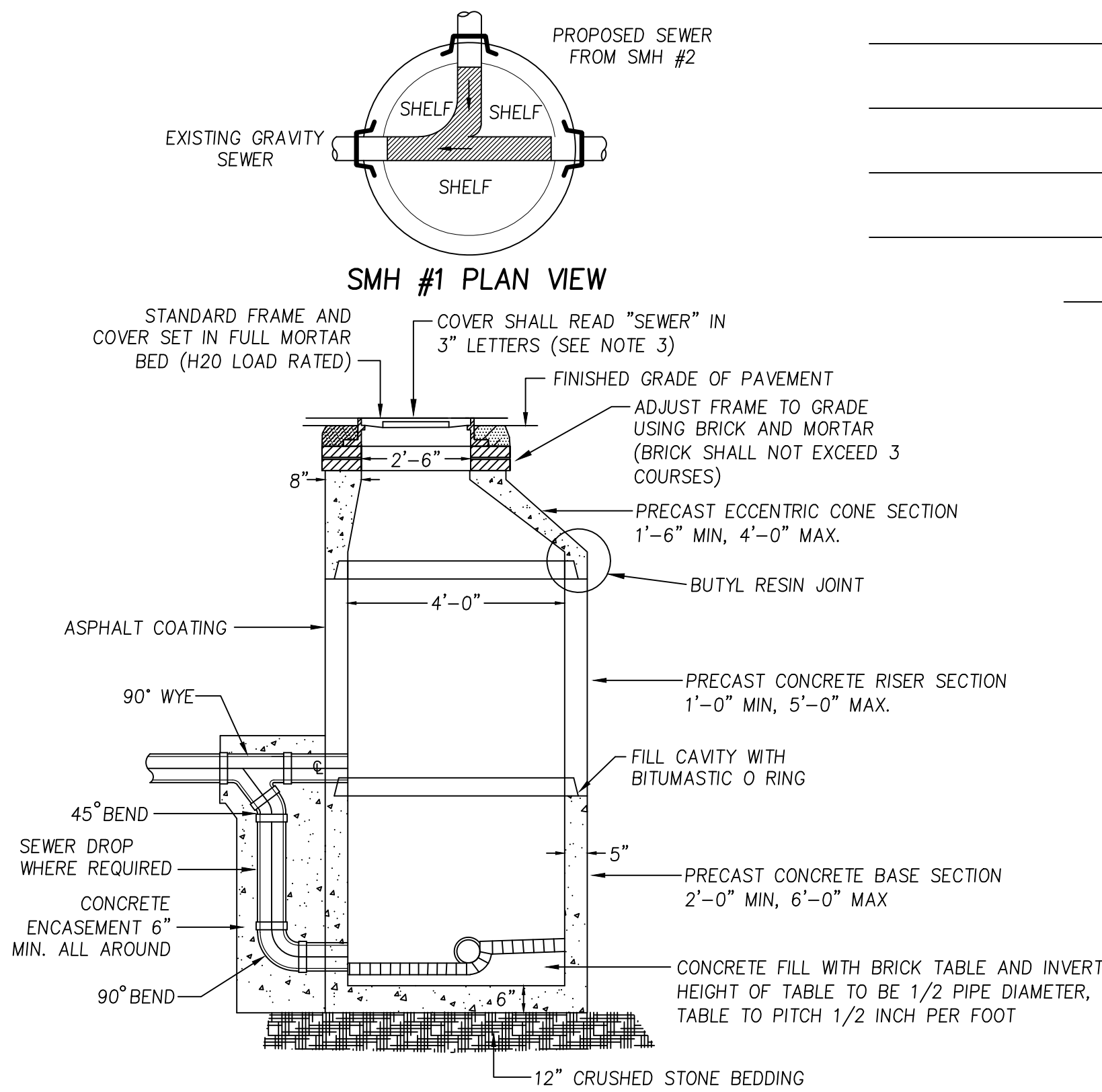
THRUST BLOCK
DETAILS

N.T.S.



TYPICAL TRENCH
DETAIL

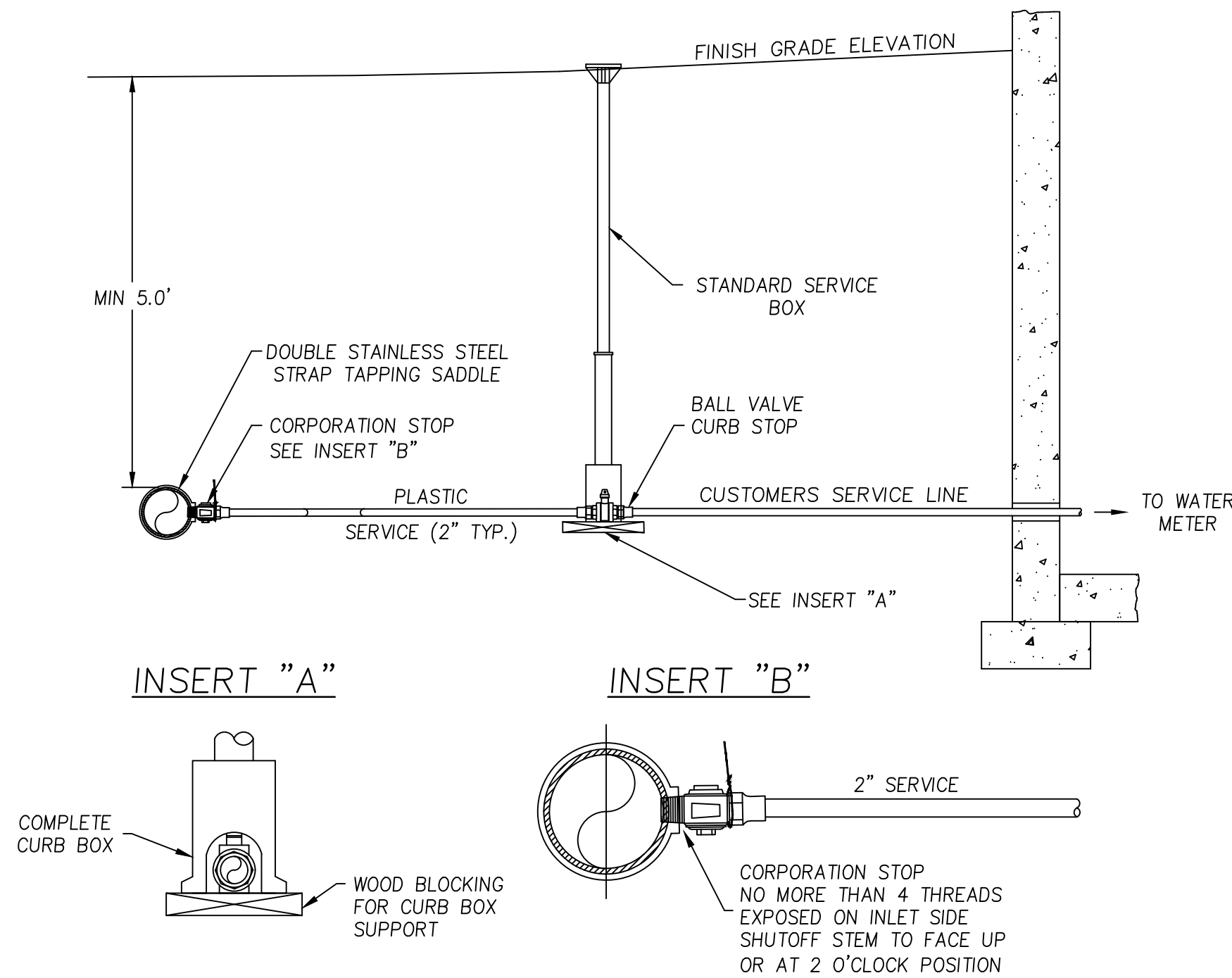
N.T.S.



- NOTES:
- SEWER MANHOLES SHALL CONFORM TO ASTM C478 AND ASTM C185
 - STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC STEPS SHALL CONFORM TO LATEST ASTM C478 SPEC.
 - COVER SHALL BE LEBARON FOUNDRY (MODEL NO. LA246), MECHANICS IRON FOUNDRY, NEEHAN FOUNDRY, OR EQUAL.
 - ALL PENETRATIONS IN THE MANHOLE FOR INSERTION OF PIPING SHALL BE SEALED WITH KOR-N-SEAL FLEXIBLE PIPE CONNECTION.
 - FLAT TOP STRUCTURES SHALL BE PRECAST SECTIONS AND HAVE A 28 DAY COMPRESSIVE STRENGTH OF 5000 PSI REINFORCED FOR AASHTO H-20 LOADING.
 - CONICAL SECTIONS MAY BE SUBSTITUTED FOR FLAT-TOP STRUCTURES IN AREAS WHERE MORE THAN 4 FEET OF COVER IS PROVIDED FOR DRAIN PIPE.

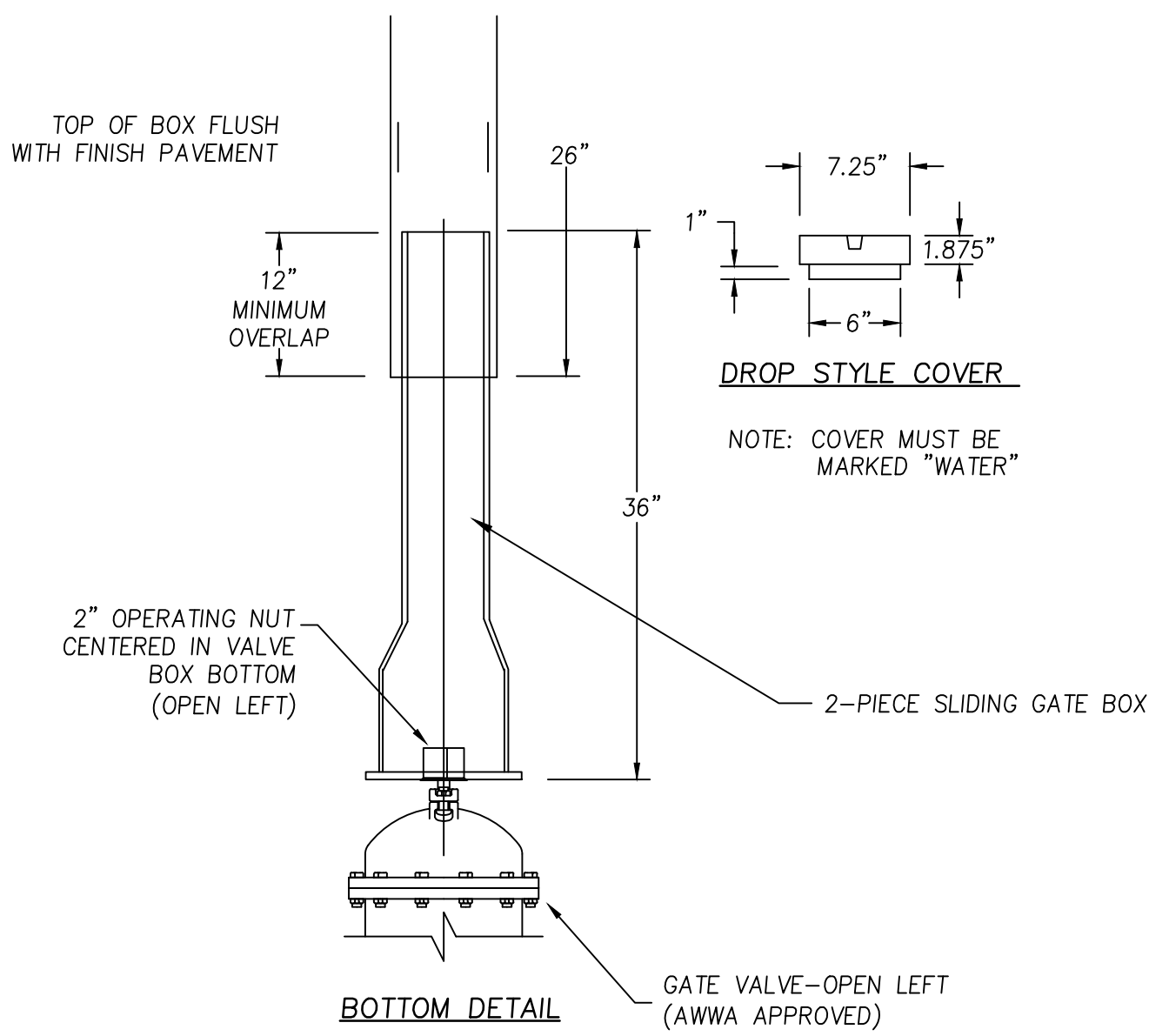
PRECAST SEWER
MANHOLE DETAIL

N.T.S.



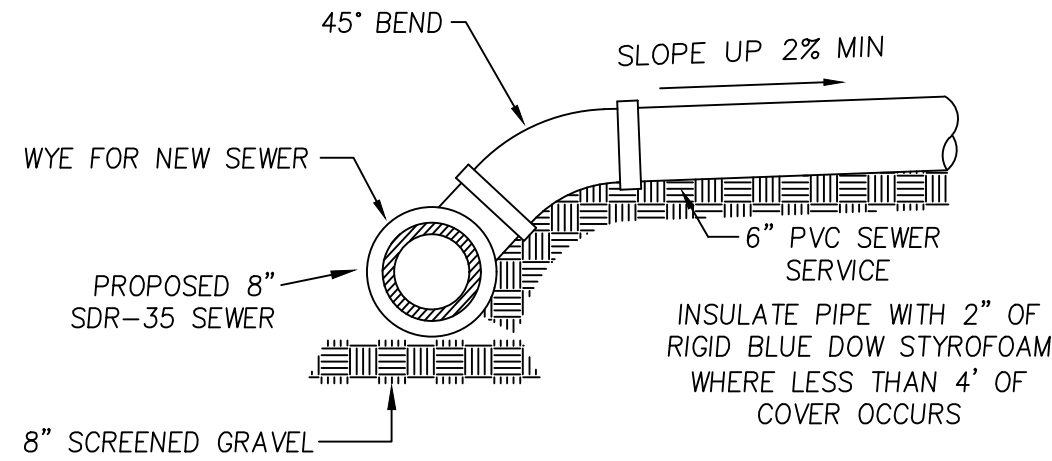
TYPICAL WATER
SERVICE CONNECTION

N.T.S.



TYPICAL GATE VALVE
BOX DETAIL

N.T.S.

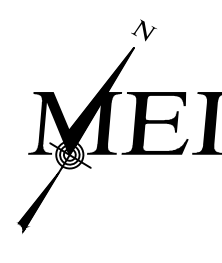


SEWER SERVICE
DETAIL

N.T.S.

PROGRESS
PRINT

PREPARED FOR
YWCA OF GREATER NEWBURYPORT FOR
THE YWCA RESIDENCE AT INGALLS COURT
13 MARKET STREET
NEWBURYPORT, MA 01950



MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: AS SHOWN
DATE: JUNE 30, 2021
DESIGN: J.T.M.
CHECKED: E.W.B.
PROJECT: M213895

SITE PLAN
IN
METHUEN, MA

AT
12 INGALLS COURT
(MAP 716, BLOCK 115, LOT 2A)

CONSTRUCTION
DETAILS

SHEET: 8 OF 8