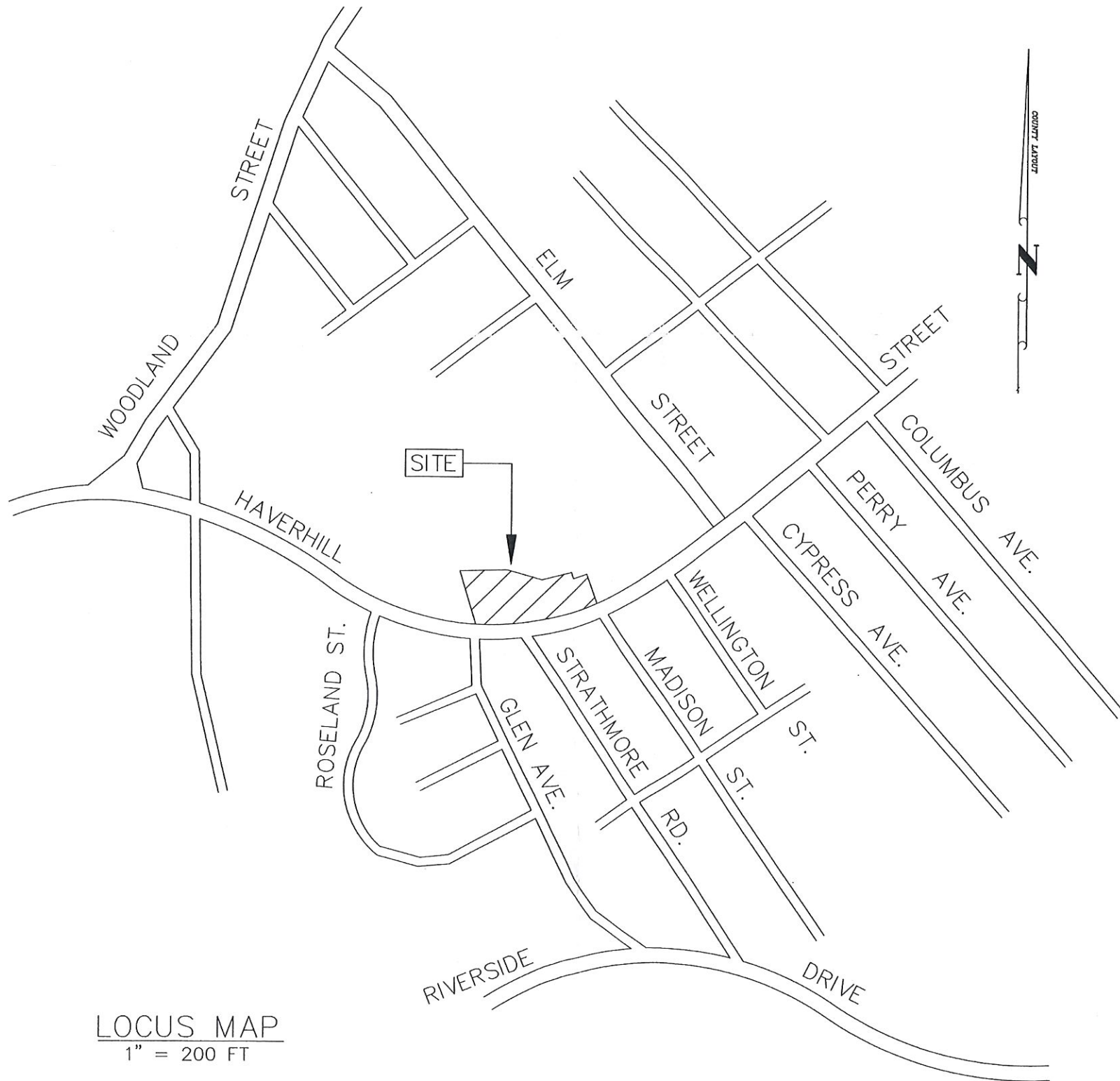


**PROPOSED OFFICE BUILDING ADDITION
&
PARKING LOT EXPANSION
HAVERHILL STREET
METHUEN, MASSACHUSETTS**



LOCUS MAP
1" = 200 FT

DRAWING SHEET INDEX

SHEET NUMBER	SHEET TITLE
1 OF 5	COVER
2 OF 5	EXISTING CONDITIONS
3 OF 5	LAYOUT & MATERIALS
4 OF 5	GRADING & UTILITIES
5 OF 5	SITE DETAILS



NOTES:

OWNERS OF RECORD:

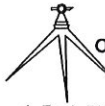
PARCEL ID:	OWNER:	DEED:
618-155-5B	SELECT PROPERTIES, LLC	BK 10828, PG 107
618-155-5E	VOYAGERS REALTY TRUST	BK 3640, PG 19
618-155-5F	VOYAGERS REALTY TRUST	BK 5338, PG 72
618-155-5J2	SELECT PROPERTIES, LLC	BK 13845 PG 78

APPLICANT:

CHARLES PERRAULT
79 HAVERHILL STREET
METHUEN, MASSACHUSETTS 01844

COVER
HAVERHILL STREET
METHUEN, MASS.

PREPARED FOR: CHARLES PERRAULT
DATE: NOVEMBER 18, 2019
SCALE: 1"=20'



1 East River Place
Methuen, Mass. 01844



11-19-19

Reg. Prof. Engineer



LEGEND:

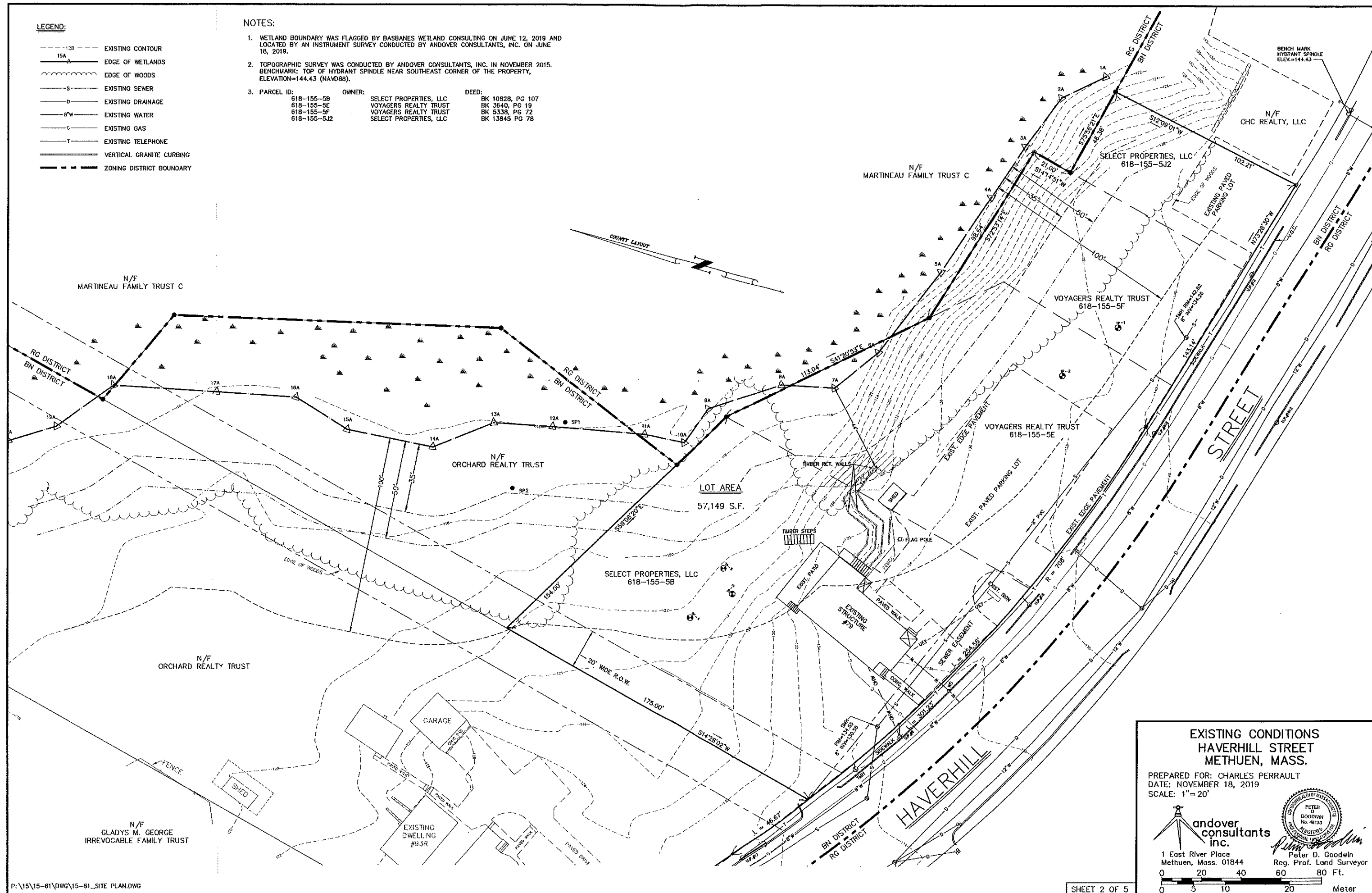
- 12B --- EXISTING CONTOUR
- 15A --- EDGE OF WETLANDS
- S --- EDGE OF WOODS
- S --- EXISTING SEWER
- D --- EXISTING DRAINAGE
- B*W --- EXISTING WATER
- C --- EXISTING GAS
- T --- EXISTING TELEPHONE
- V --- VERTICAL GRANITE CURBING
- Z --- ZONING DISTRICT BOUNDARY

NOTES:

1. WETLAND BOUNDARY WAS FLAGGED BY BASBANES WETLAND CONSULTING ON JUNE 12, 2019 AND LOCATED BY AN INSTRUMENT SURVEY CONDUCTED BY ANDOVER CONSULTANTS, INC. ON JUNE 18, 2019.
2. TOPOGRAPHIC SURVEY WAS CONDUCTED BY ANDOVER CONSULTANTS, INC. IN NOVEMBER 2015. BENCHMARK: TOP OF HYDRANT SPINDLE NEAR SOUTHEAST CORNER OF THE PROPERTY, ELEVATION=144.43 (NAVD83).
3. PARCEL ID: 618-155-5B
618-155-5E
618-155-5F
618-155-5J2

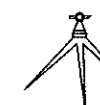
OWNER: SELECT PROPERTIES, LLC
VOYAGERS REALTY TRUST
VOYAGERS REALTY TRUST
SELECT PROPERTIES, LLC

DEED: BK 10828, PG 107
BK 3640, PG 19
BK 5338, PG 72
BK 13845 PG 78



EXISTING CONDITIONS
HAVERHILL STREET
METHUEN, MASS.

PREPARED FOR: CHARLES PERRAULT
DATE: NOVEMBER 18, 2019
SCALE: 1" = 20'



1 East River Place
Methuen, Mass. 01844

Peter D. Goodwin
Reg. Prof. Land Surveyor



0 5 10 20 40 60 80 Ft.
0 5 10 20 Meter

	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT GRADE
	EDGE OF PAVEMENT
	PROPOSED EDGE OF PAVEMENT
	PROPOSED BITUMINOUS BERM CURB
	EDGE OF WETLANDS
	EXISTING DRAINAGE
	EXISTING WATER
	EXISTING EDGE OF WOODS
	PROPOSED EDGE OF WOODS
	PROPOSED HAY BALES.
	PROPOSED HANDRAIL

Description	Size		Spaces	
	Required	Provided	Required	Provided
STANDARD SPACES	8' x 18'	8' x 18'	22	26
STANDARD ACCESSIBLE SPACES *	8' x 18'	8' x 18'	1	1
TOTAL SPACES			23	27

* PER ADA/STATE/LOCAL REQUIREMENTS AND SHALL BE VAN ACCESSIBLE

OFFICE - LOWER LEVEL NEW	1,045 S.F.							
OFFICE - MAIN LEVEL EXISTING	1,491 S.F.							
OFFICE - MAIN LEVEL NEW	1,287 S.F.							
OFFICE - SECOND LEVEL EXISTING	1,491 S.F.							
OFFICE - SECOND LEVEL NEW	1,287 S.F.							
TOTAL OFFICE	6,601 S.F.	X	1 SPACE	/	300	=	22	
TOTAL PARKING REQUIRED							=	22

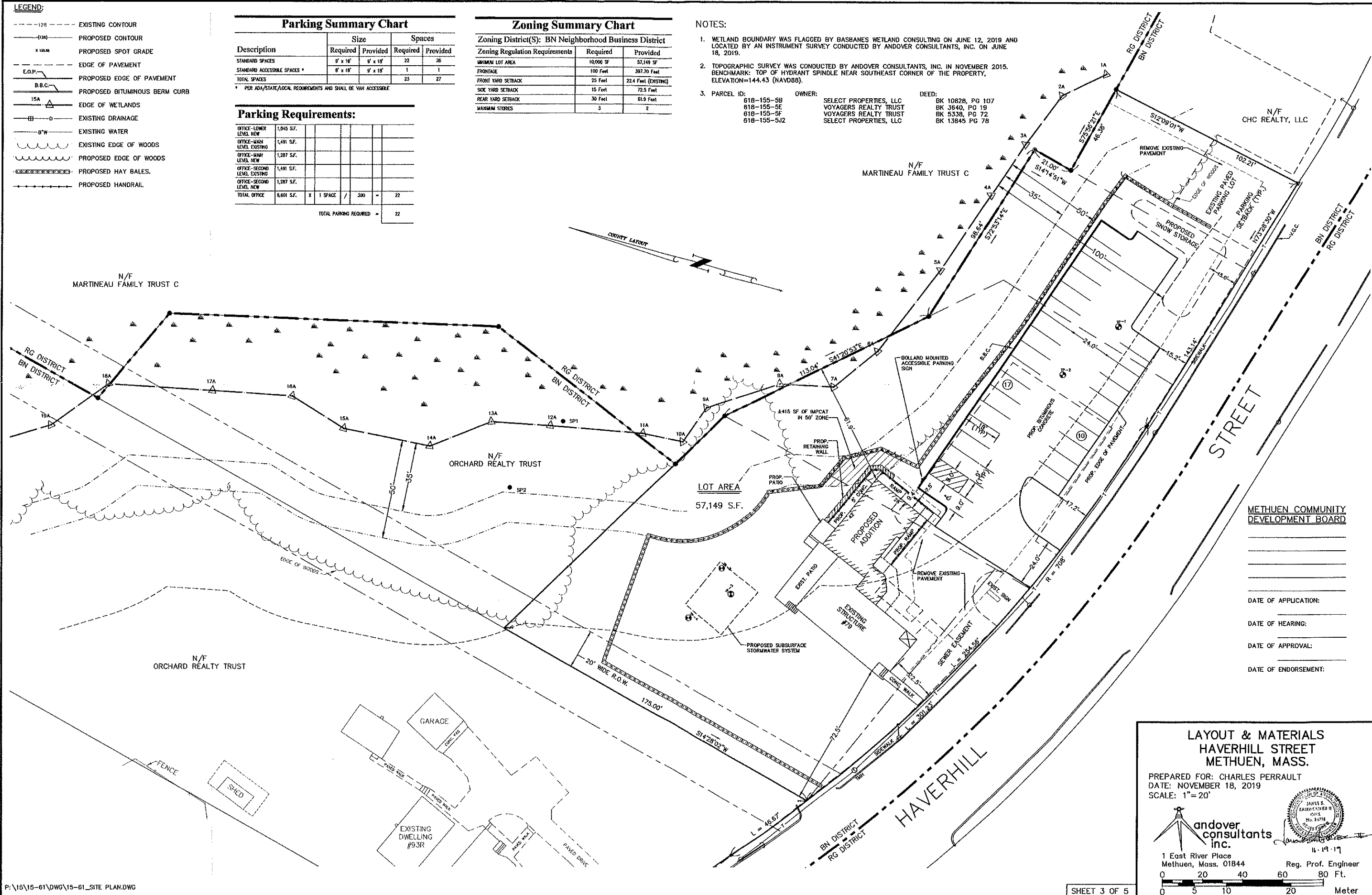
Zoning District(S): BN Neighborhood Business District		
Zoning Regulation Requirements	Required	Provided
MINIMUM LOT AREA	10,000 SF	57,149 SF
FRONTAGE	100 Feet	397.70 Feet
FRONT YARD SETBACK	25 Feet	22.4 Feet (EXISTING)
SIDE YARD SETBACK	15 Feet	72.5 Feet
REAR YARD SETBACK	30 Feet	61.9 Feet
MAXIMUM STORIES	3	2

1. WETLAND BOUNDARY WAS FLAGGED BY BASBANES WETLAND CONSULTING ON JUNE 12, 2019 AND LOCATED BY AN INSTRUMENT SURVEY CONDUCTED BY ANDOVER CONSULTANTS, INC. ON JUNE 18, 2019.

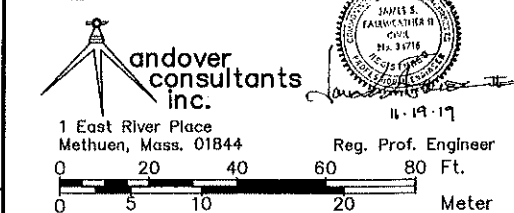
2. TOPOGRAPHIC SURVEY WAS CONDUCTED BY ANDOVER CONSULTANTS, INC. IN NOVEMBER 2015. BENCHMARK: TOP OF HYDRANT SPINDLE NEAR SOUTHEAST CORNER OF THE PROPERTY, ELEVATION=144.43 (NAVOD88).

3. PARCEL ID: OWNER: DEED:

618-155-5B	SELECT PROPERTIES, LLC	BK 1062B, PG 107
618-155-5E	VOYAGERS REALTY TRUST	BK 364D, PG 19
618-155-5F	VOYAGERS REALTY TRUST	BK 533B, PG 72
618-155-5J2	SELECT PROPERTIES, LLC	BK 13845, PG 78



PREPARED FOR: CHARLES PERRAULT
DATE: NOVEMBER 18, 2019
SCALE: 1"=20'



	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT GRADE
	EDGE OF PAVEMENT
	PROPOSED EDGE OF PAVEMENT
	PROPOSED BITUMINOUS BERM CURB
	EDGE OF WETLANDS
	EXISTING DRAINAGE
	EXISTING WATER
	EXISTING EDGE OF WOODS
	PROPOSED EDGE OF WOODS
	PROPOSED HAY BALES.
	PROPOSED HANDRAIL.

1. WETLAND BOUNDARY WAS FLAGGED BY BASBANES WETLAND CONSULTING ON JUNE 12, 2019 AND LOCATED BY AN INSTRUMENT SURVEY CONDUCTED BY ANDOVER CONSULTANTS, INC. ON JUNE 18, 2019.

2. TOPOGRAPHIC SURVEY WAS CONDUCTED BY ANDOVER CONSULTANTS, INC. IN NOVEMBER 2015. BENCHMARK: TOP OF HYDRANT SPINDLE NEAR SOUTHEAST CORNER OF THE PROPERTY, ELEVATION=144.43 (NAVDD88).

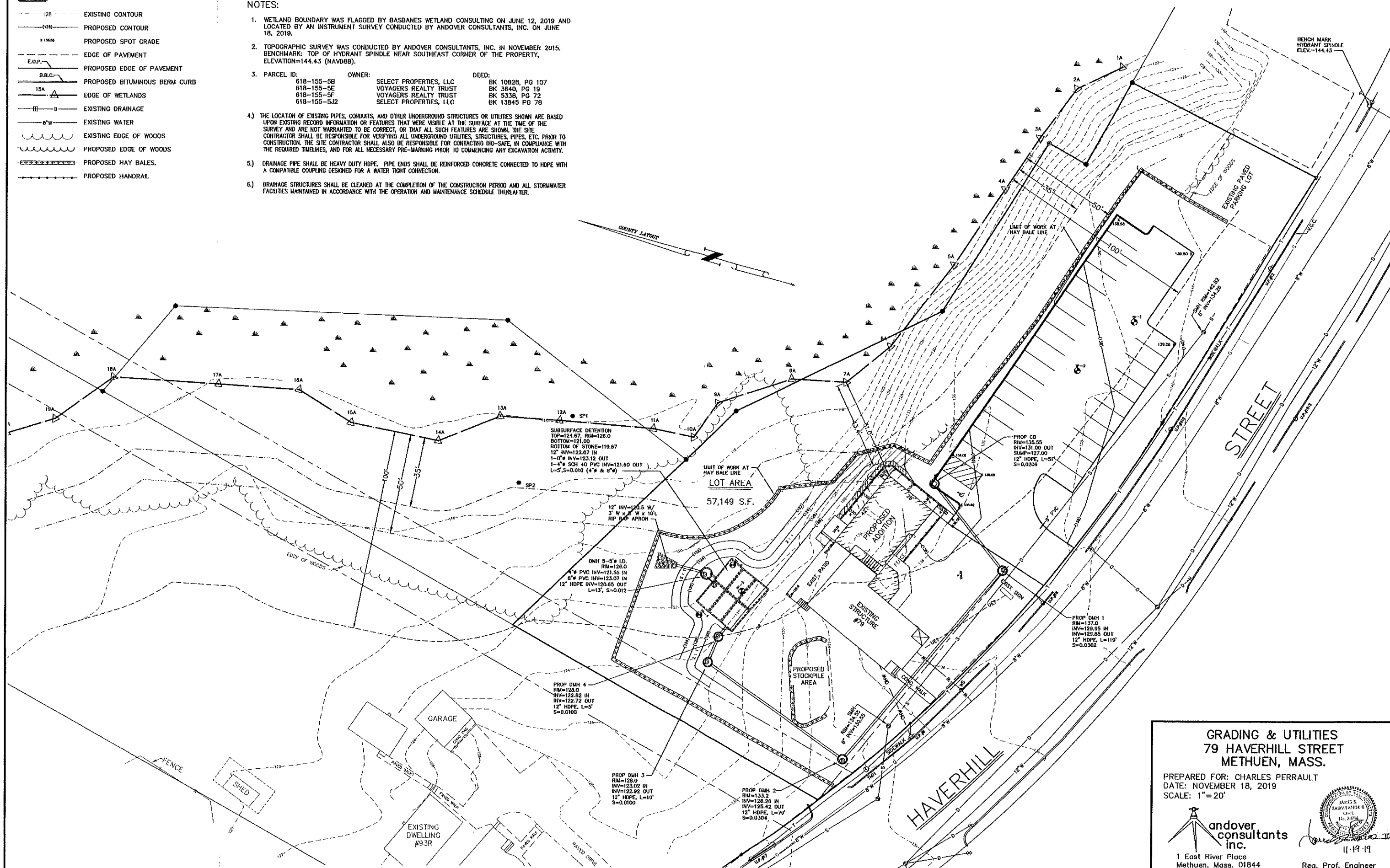
3. PARCEL ID: OWNER: DEED:

618-155-5B	SELECT PROPERTIES, LLC	BK 1082B, PG 107
618-155-5E	VOYAGERS REALTY TRUST	BK 3640, PG 19
618-155-5F	VOYAGERS REALTY TRUST	BK 533B, PG 72
618-155-5J2	SELECT PROPERTIES, LLC	BK 13845 PG 78

4.) THE LOCATION OF EXISTING PIPES, CONDUITS, AND OTHER UNDERGROUND STRUCTURES OR UTILITIES SHOWN ARE BASED UPON EXISTING RECORD INFORMATION OR FEATURES THAT WERE VISIBLE AT THE SURFACE AT THE TIME OF THE SURVEY AND ARE NOT WARRANTED TO BE CORRECT, OR THAT ALL SUCH FEATURES ARE SHOWN. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL UNDERGROUND UTILITIES, STRUCTURES, PIPES, ETC. PRIOR TO CONSTRUCTION. THE SITE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR CONTACTING DIO-SAFE, IN COMPLIANCE WITH THE REQUIRED TIMELINES, AND FOR ALL NECESSARY PRE-MARKING PRIOR TO COMMENCING ANY EXCAVATION ACTIVITY.

5.) DRAINAGE PIPE SHALL BE HEAVY DUTY HDPE. PIPE ENDS SHALL BE REINFORCED CONCRETE CONNECTED TO HDPE WITH A COMPATIBLE COUPLING DESIGNED FOR A WATER TIGHT CONNECTION.

6.) DRAINAGE STRUCTURES SHALL BE CLEANED AT THE COMPLETION OF THE CONSTRUCTION PERIOD AND ALL STORMWATER FACILITIES MAINTAINED IN ACCORDANCE WITH THE OPERATION AND MAINTENANCE SCHEDULE THEREAFTER.



P:\15\15-61\DWG\15-61_SITE PLAN.DWG

SHEET 4 OF 5

GRADING & UTILITIES
79 HAVERHILL STREET
METHUEN, MASS.

PREPARED FOR: CHARLES PERRAULT
DATE: NOVEMBER 18, 2019
SCALE: 1"=20'



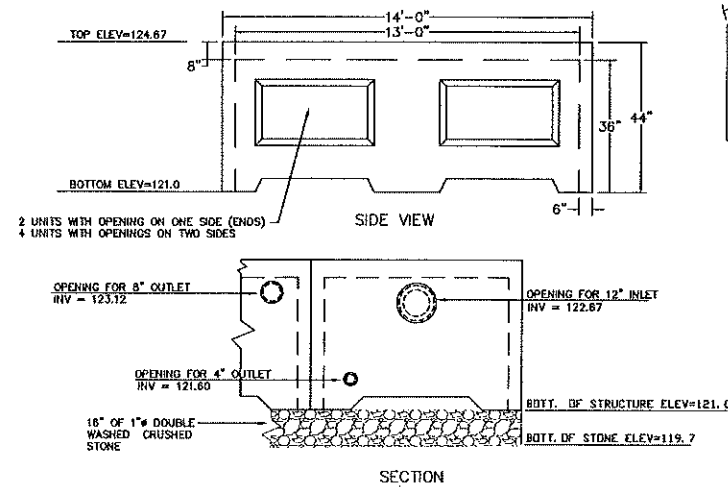
1 East River Place
Methuen, Mass. 01844

Reg. Prof. Engineer

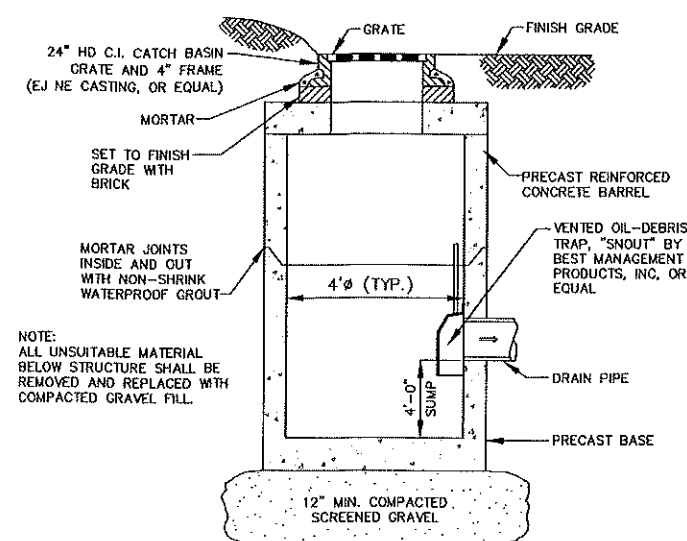
0	20	40	60	80 Ft.
---	----	----	----	--------

0 5 10 20 Me

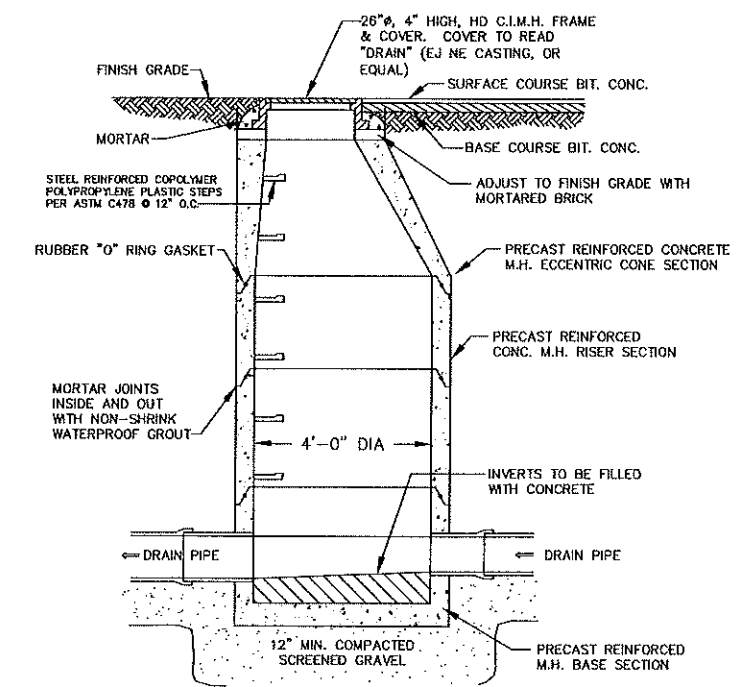
11.19.18



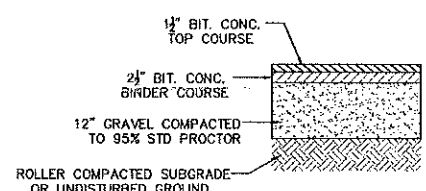
STORMWATER CHAMBER DETAIL
NOT TO SCALE



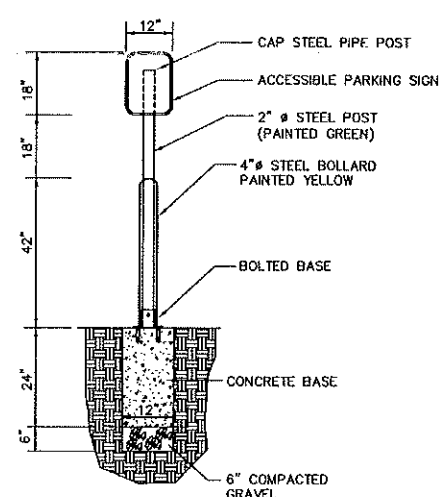
TYPICAL CATCH BASIN DETAIL
NOT TO SCALE



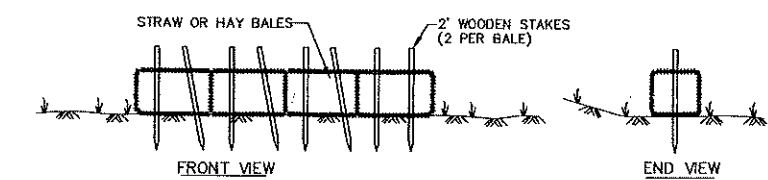
TYPICAL DRAIN MANHOLE DETAIL
NOT TO SCALE



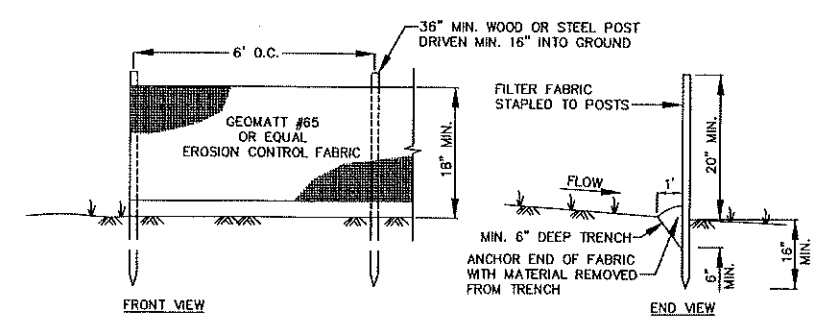
PAVEMENT SECTION
NOT TO SCALE



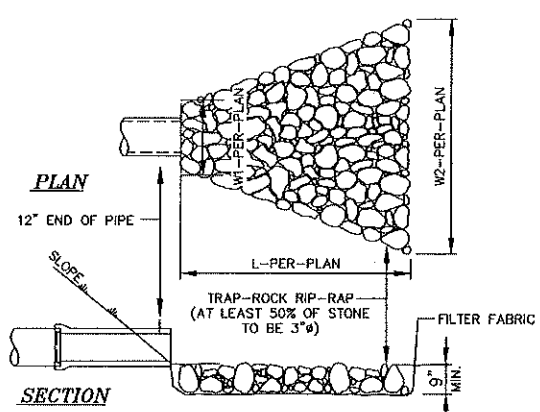
ACCESSIBLE PARKING SIGN POST
NOT TO SCALE



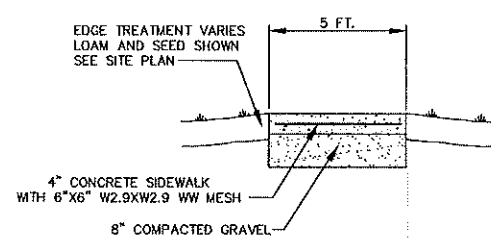
HAY BALE SILTATION BARRIER DETAIL
(NOT TO SCALE)



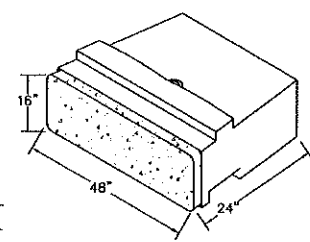
FABRIC SILTATION FENCE DETAIL
(NOT TO SCALE)



DETAIL FOR FLARED END
NOT TO SCALE

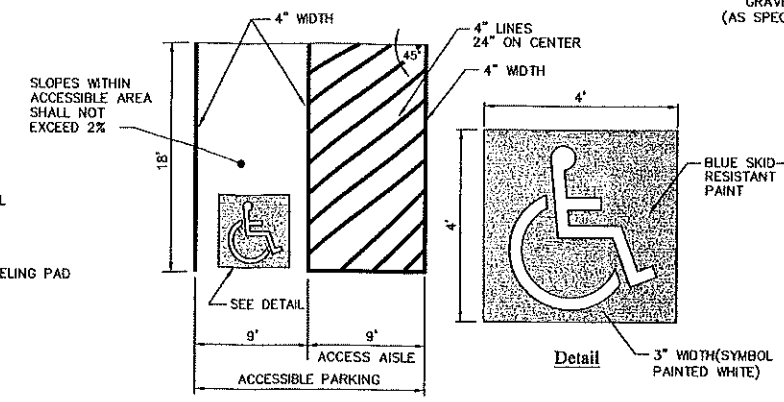


CONCRETE WALK DETAIL
NOT TO SCALE

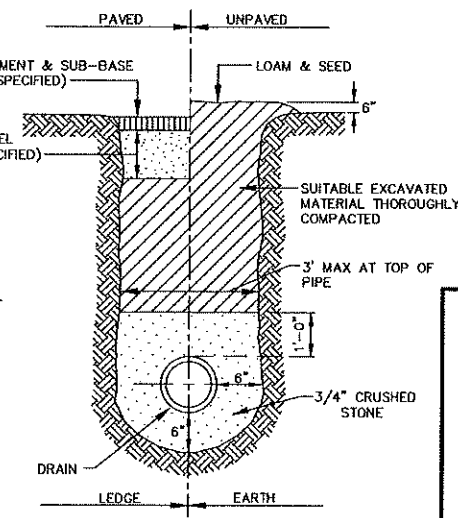


- NOTES:
1. CONCRETE: 3,000 PSI MINIMUM AFTER 28 DAYS.
 2. FACE TEXTURE IS NORTH SHORE GRANITE.
 3. 1" SETBACK PER ROW ON A STRAIGHT WALL (ANGLE OF BATTER 3.6).

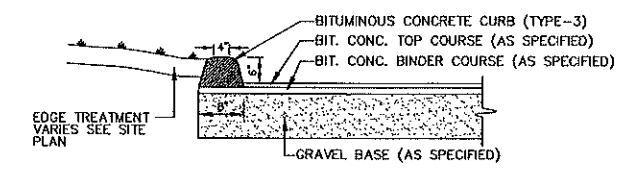
TYPICAL WALL SECTION
NOT TO SCALE



ACCESSIBLE PARKING SPACE STRIPING
NOT TO SCALE



TYPICAL PIPE TRENCH
NOT TO SCALE



BITUMINOUS CONCRETE CURB DETAIL
NOT TO SCALE

SITE DETAILS
79 HAVERHILL STREET
METHUEN, MASS.

PREPARED FOR: CHARLES PERRAULT
DATE: NOVEMBER 18, 2019
SCALE: 1"=20'

andover consultants inc.
1 East River Place
Methuen, Mass. 01844
Reg. Prof. Engineer

11-19-19

0 5 10 20 40 60 80 Ft.
0 5 10 20 Meter