

PROPOSED OFFICE BUILDING ADDITION
&
PARKING LOT EXPANSION
HAVERHILL STREET
METHUEN, MASSACHUSETTS

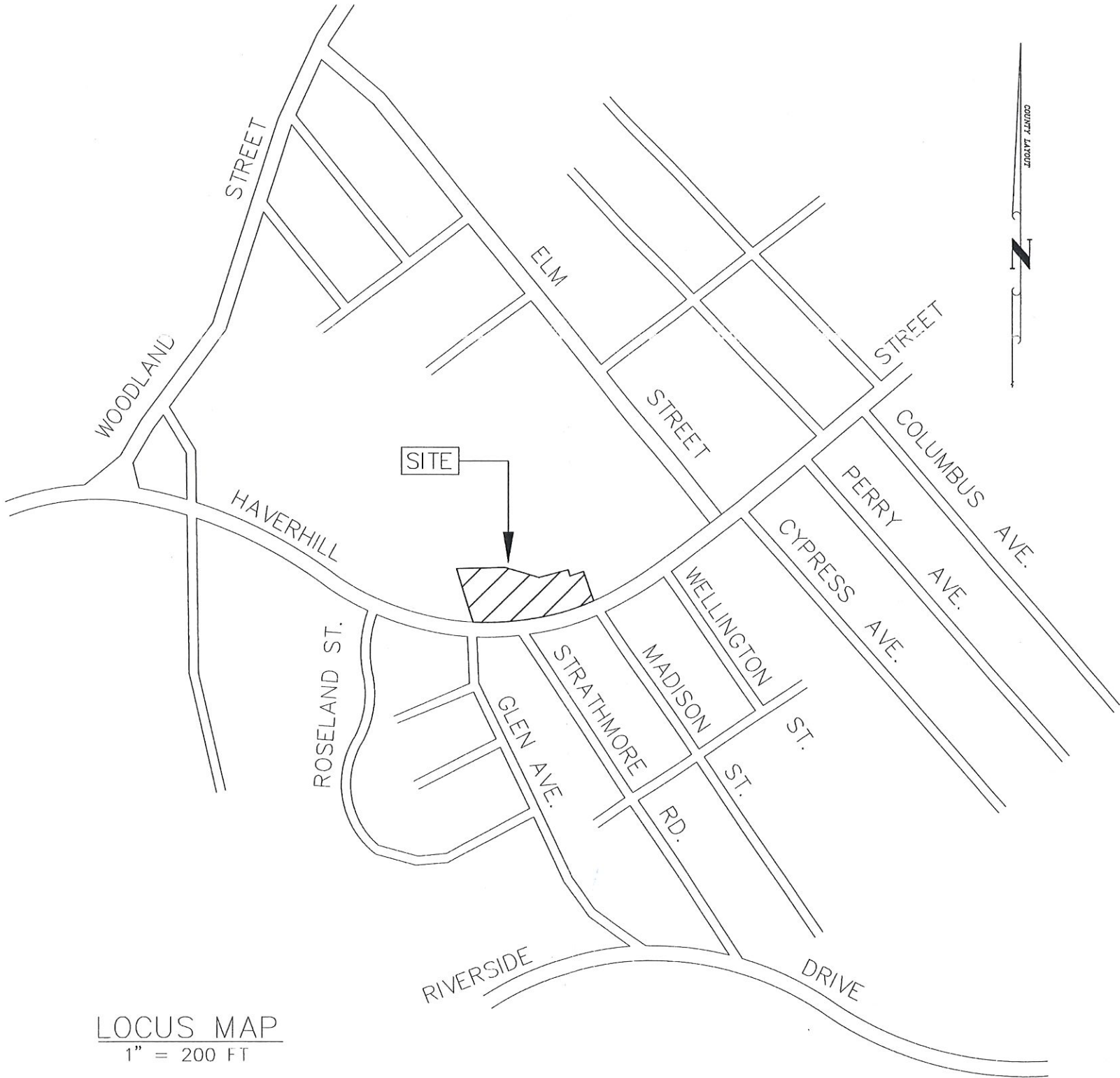
METHUEN COMMUNITY
DEVELOPMENT BOARD

DATE OF APPLICATION:

DATE OF HEARING:

DATE OF APPROVAL:

DATE OF ENDORSEMENT:



DRAWING SHEET INDEX

SHEET NUMBER	SHEET TITLE
1 OF 5	COVER
2 OF 5	EXISTING CONDITIONS
3 OF 5	LAYOUT & MATERIALS
4 OF 5	GRADING & UTILITIES
5 OF 5	SITE DETAILS

NOTES:

OWNERS OF RECORD:

PARCEL ID:	OWNER:	DEED:
618-155-5B	SELECT PROPERTIES, LLC	BK 10828, PG 107
618-155-5E	VOYAGERS REALTY TRUST	BK 3640, PG 19
618-155-5F	VOYAGERS REALTY TRUST	BK 5338, PG 72
618-155-5J2	SELECT PROPERTIES, LLC	BK 13845 PG 78

APPLICANT:

CHARLES PERRAULT
79 HAVERHILL STREET
METHUEN, MASSACHUSETTS 01844

Revision No.	Revision Description	Date
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COVER
HAVERHILL STREET
METHUEN, MASS.

PREPARED FOR: CHARLES PERRAULT
DATE: NOVEMBER 18, 2019
SCALE: 1"=20'



1 East River Place
Methuen, Mass. 01844



Reg. Prof. Engineer
1-16-20



LOCUS MAP
1" = 200 FT

LEGEND:

- 125 --- EXISTING CONTOUR
- (125) PROPOSED CONTOUR
- x 135.55 PROPOSED SPOT GRADE
- E.O.P. --- EDGE OF PAVEMENT
- B.B.C. --- PROPOSED EDGE OF PAVEMENT
- 15A PROPOSED BITUMINOUS BERM CURB
- 15A --- EDGE OF WETLANDS
- 15A --- EXISTING DRAINAGE
- 15A --- EXISTING WATER
- 15A --- EXISTING EDGE OF WOODS
- 15A --- PROPOSED EDGE OF WOODS
- 15A --- PROPOSED HAY BALES
- 15A --- PROPOSED HANDRAIL

Parking Summary Chart

Description	Size		Spaces	
	Required	Provided	Required	Provided
STANDARD SPACES	9' x 18'	9' x 18'	18	19
STANDARD ACCESSIBLE SPACES *	9' x 18'	9' x 18'	1	1
TOTAL SPACES			19	20

* PER ADA/STATE/LOCAL REQUIREMENTS AND SHALL BE VAN ACCESSIBLE

Parking Requirements:

OFFICE-LOANER LEVEL, NEW	1,049 S.F.	N/A		
OFFICE-MAIN LEVEL, EXISTING	1,491 S.F.			
OFFICE-MAIN LEVEL, NEW	1,287 S.F.			
OFFICE-SECOND LEVEL, EXISTING	1,491 S.F.			
OFFICE-SECOND LEVEL, NEW	1,287 S.F.			
TOTAL OFFICE	5,556 S.F.	X 1 SPACE / 300		18,520
TOTAL PARKING REQUIRED				19

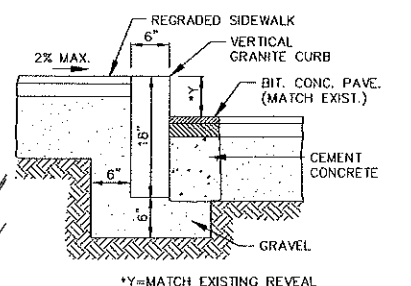
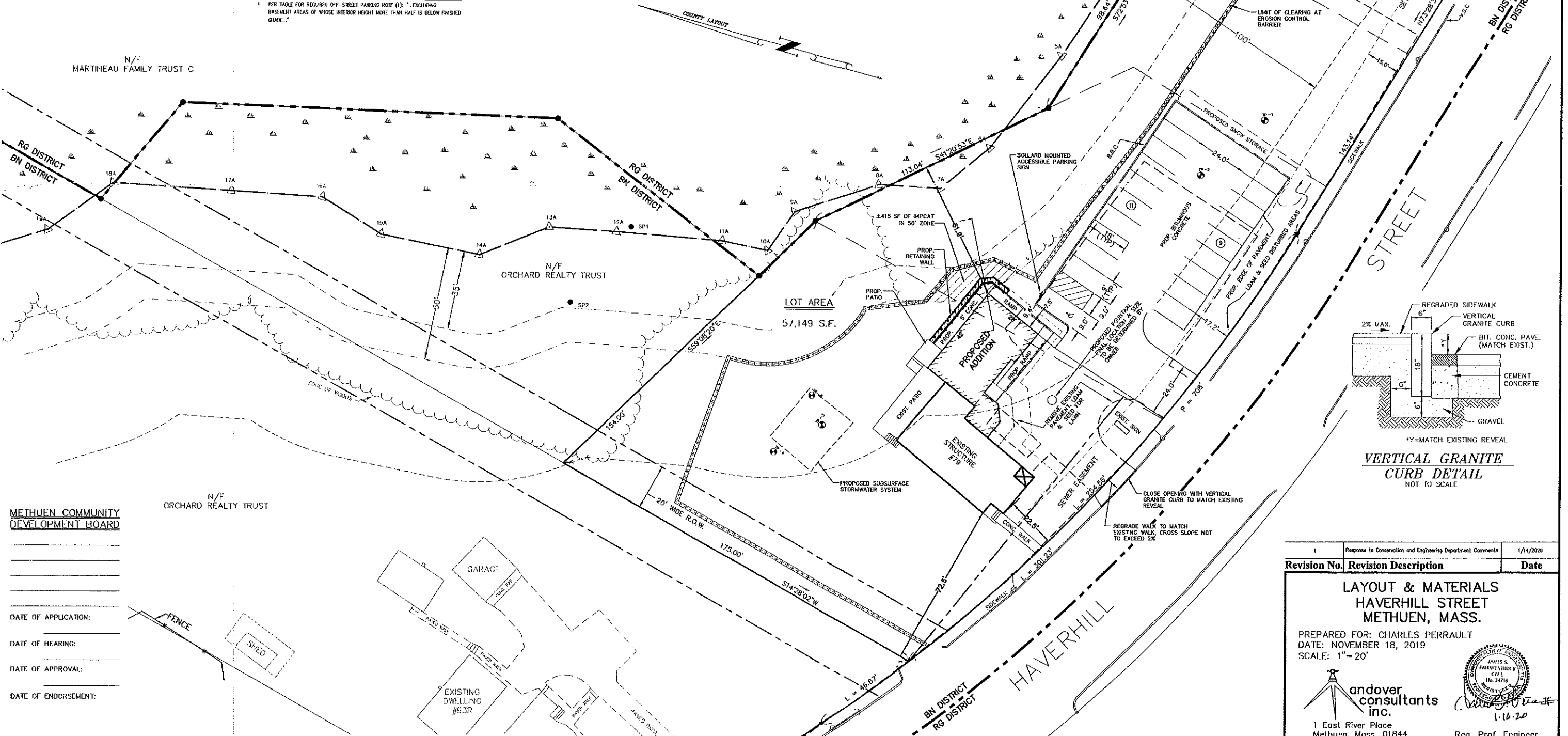
* PER TABLE FOR REQUIRED OFF-STREET PARKING NOTE (1): "EXCLUDING BASEMENT AREAS OF WHOSE INTERIOR HEIGHT MORE THAN HALF IS BELOW FINISHED GRADE."

Zoning Summary Chart

Zoning District(S): BN Neighborhood Business District		
Zoning Regulation Requirements	Required	Provided
MINIMUM LOT AREA	10,000 SF	57,149 SF
FRONTAGE	100 Feet	397.70 Feet
FRONT YARD SETBACK	25 Feet	22.4 Feet (EXISTING)
SIDE YARD SETBACK	15 Feet	12.5 Feet
REAR YARD SETBACK	30 Feet	61.9 Feet
MAXIMUM STORES	3	2

NOTES:

- WETLAND BOUNDARY WAS FLAGGED BY BASBANES WETLAND CONSULTING ON JUNE 12, 2019 AND LOCATED BY AN INSTRUMENT SURVEY CONDUCTED BY ANDOVER CONSULTANTS, INC. ON JUNE 18, 2019.
- TOPOGRAPHIC SURVEY WAS CONDUCTED BY ANDOVER CONSULTANTS, INC. IN NOVEMBER 2015. BENCHMARK: TOP OF HYDRANT SPINDLE NEAR SOUTHEAST CORNER OF THE PROPERTY, ELEVATION=144.43 (NAVD88).
- PARCEL ID: 618-155-SB
618-155-SE
618-155-SF
618-155-SJ2
OWNER: SELECT PROPERTIES, LLC
VOYAGERS REALTY TRUST
VOYAGERS REALTY TRUST
SELECT PROPERTIES, LLC
DEED: BK 10828, PG 107
BK 3640, PG 19
BK 5338, PG 72
BK 13845 PG 78



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LAYOUT & MATERIALS HAVERHILL STREET METHUEN, MASS.

PREPARED FOR: CHARLES PERRAULT
DATE: NOVEMBER 18, 2019
SCALE: 1"=20'

andover consultants inc.
1 East River Place
Methuen, Mass. 01844
Reg. Prof. Engineer
0 20 40 60 80 Ft.
0 5 10 20 Meter

andover consultants inc.
1.16.20

LEGEND:

- 129 --- EXISTING CONTOUR
- (120) --- PROPOSED CONTOUR
- x 126.56 PROPOSED SPOT GRADE
- E.O.P. --- EDGE OF PAVEMENT
- B.B.C. --- PROPOSED EDGE OF PAVEMENT
- 15A --- PROPOSED BITUMINOUS BERM CURB
- 15A --- EDGE OF WETLANDS
- D --- EXISTING DRAINAGE
- W --- EXISTING WATER
- W --- EXISTING EDGE OF WOODS
- W --- PROPOSED EDGE OF WOODS
- W --- PROPOSED HAY BALES
- W --- PROPOSED HANDRAIL

NOTES:

1. WETLAND BOUNDARY WAS FLAGGED BY BASBANES WETLAND CONSULTING ON JUNE 12, 2019 AND LOCATED BY AN INSTRUMENT SURVEY CONDUCTED BY ANDOVER CONSULTANTS, INC. ON JUNE 18, 2019.
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618-155-5F VOYAGERS REALTY TRUST BK 5338, PG 72
618-155-5J2 SELECT PROPERTIES, LLC BK 13845 PG 78
4. THE LOCATION OF EXISTING PIPES, CONDUITS, AND OTHER UNDERGROUND STRUCTURES OR UTILITIES SHOWN ARE BASED UPON EXISTING RECORD INFORMATION OR FEATURES THAT WERE VISIBLE AT THE SURFACE AT THE TIME OF THE SURVEY AND ARE NOT WARRANTED TO BE CORRECT, OR THAT ALL SUCH FEATURES ARE SHOWN. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL UNDERGROUND UTILITIES, STRUCTURES, PIPES, ETC. PRIOR TO CONSTRUCTION. THE SITE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR CONTACTING DIG-SAFE, IN COMPLIANCE WITH THE REQUIRED TIMELINES, AND FOR ALL NECESSARY PRE-MARKING PRIOR TO COMMENCING ANY EXCAVATION ACTIVITY.
5. DRAINAGE PIPE SHALL BE HEAVY DUTY HDPE. PIPE ENDS SHALL BE REINFORCED CONCRETE CONNECTED TO HDPE WITH A COMPATIBLE COUPLING DESIGNED FOR A WATER TIGHT CONNECTION.
6. DRAINAGE STRUCTURES SHALL BE CLEANED AT THE COMPLETION OF THE CONSTRUCTION PERIOD AND ALL STORMWATER FACILITIES MAINTAINED IN ACCORDANCE WITH THE OPERATION AND MAINTENANCE SCHEDULE THEREAFTER.

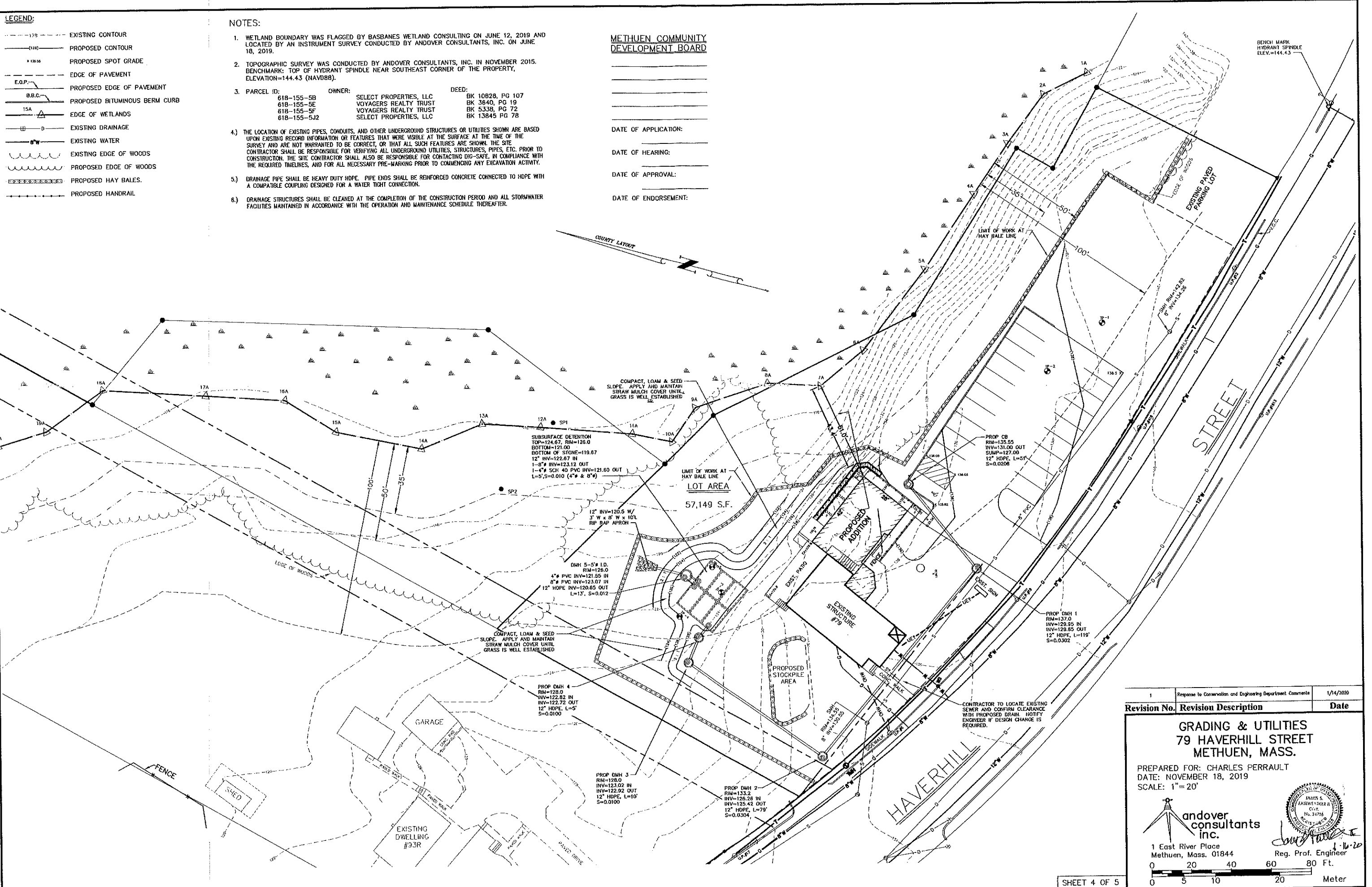
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1	Response to Conservation and Engineering Department Comments	1/14/2020

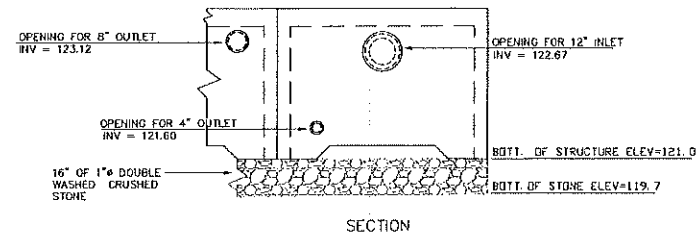
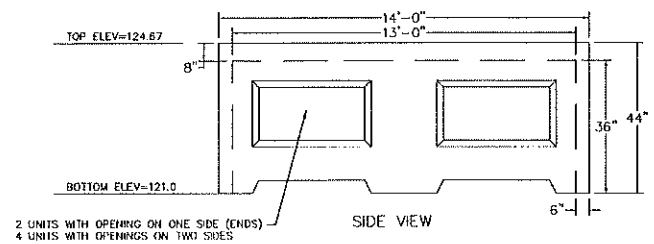
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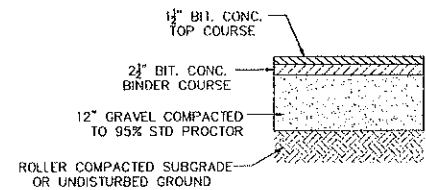
andover consultants inc.
 1 East River Place
 Methuen, Mass. 01844

Reg. Prof. Engineer
 JAMES S. FARWELL
 No. 34776
 1-16-20

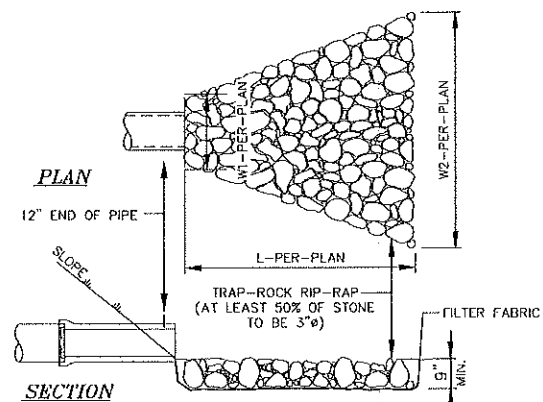
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 0 5 10 20 Meter



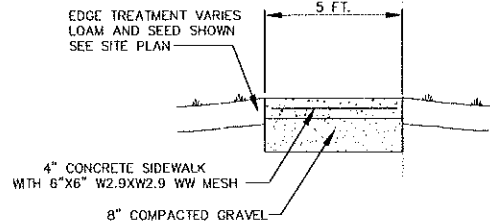
STORMWATER CHAMBER DETAIL
NOT TO SCALE



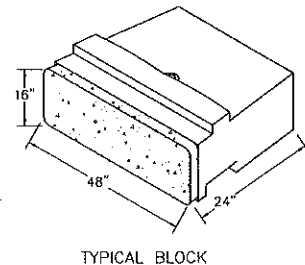
PAVEMENT SECTION
NOT TO SCALE



DETAIL FOR FLARED END
NOT TO SCALE

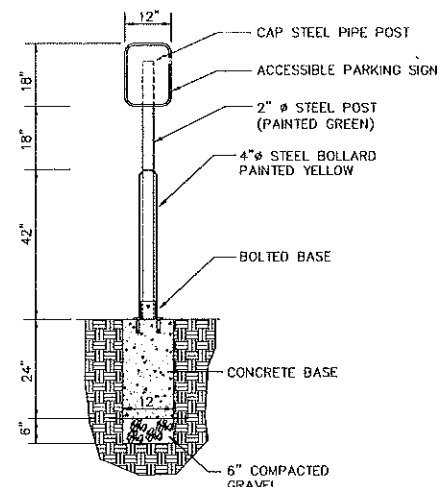


CONCRETE WALK DETAIL
NOT TO SCALE

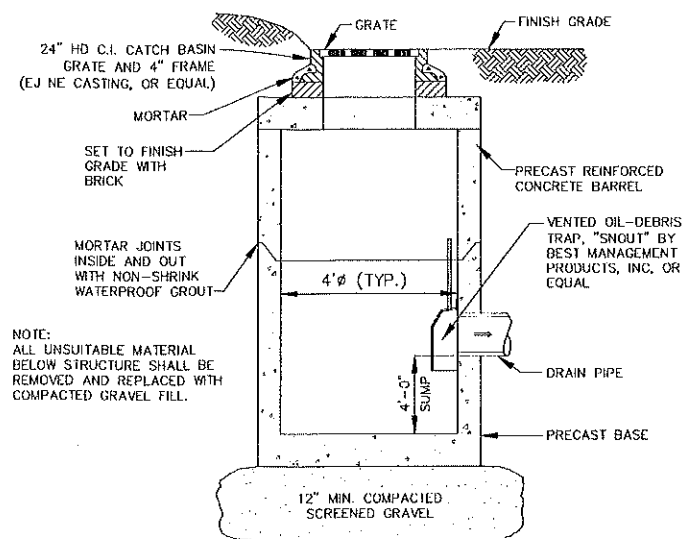


- NOTES:
1. CONCRETE: 3,000 PSI MINIMUM AFTER 28 DAYS.
 2. FACE TEXTURE IS NORTH SHORE GRANITE.
 3. 1" SETBACK PER ROW ON A STRAIGHT WALL (ANGLE OF BATTER 3.6°).

TYPICAL WALL SECTION
NOT TO SCALE

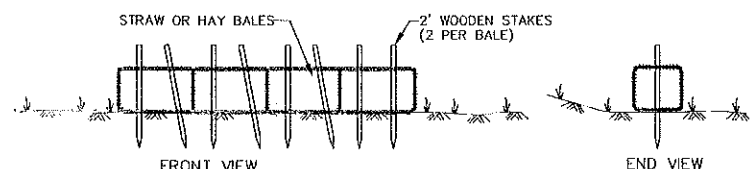


ACCESSIBLE PARKING SIGN POST
NOT TO SCALE

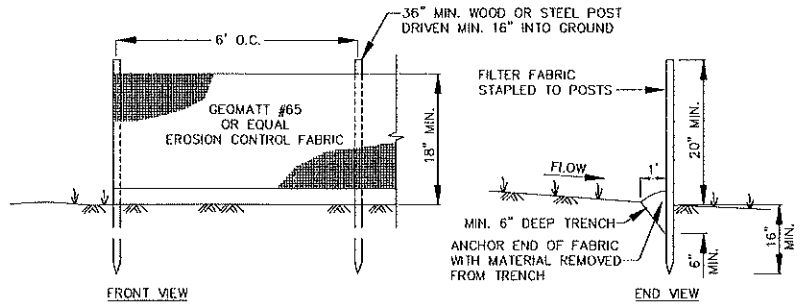


NOTE:
ALL UNSUITABLE MATERIAL BELOW STRUCTURE SHALL BE REMOVED AND REPLACED WITH COMPACTED GRAVEL FILL.

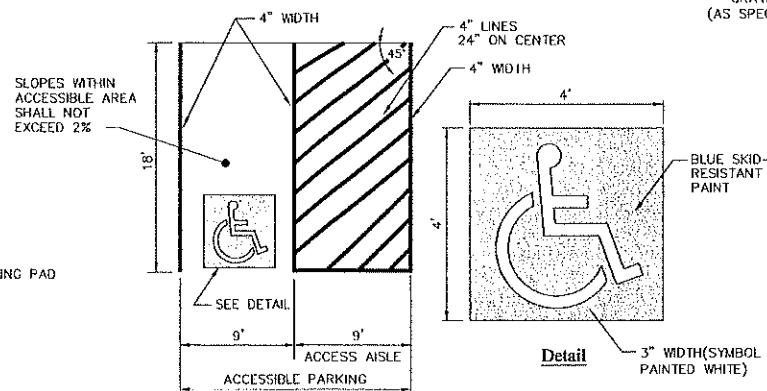
TYPICAL CATCH BASIN DETAIL
NOT TO SCALE



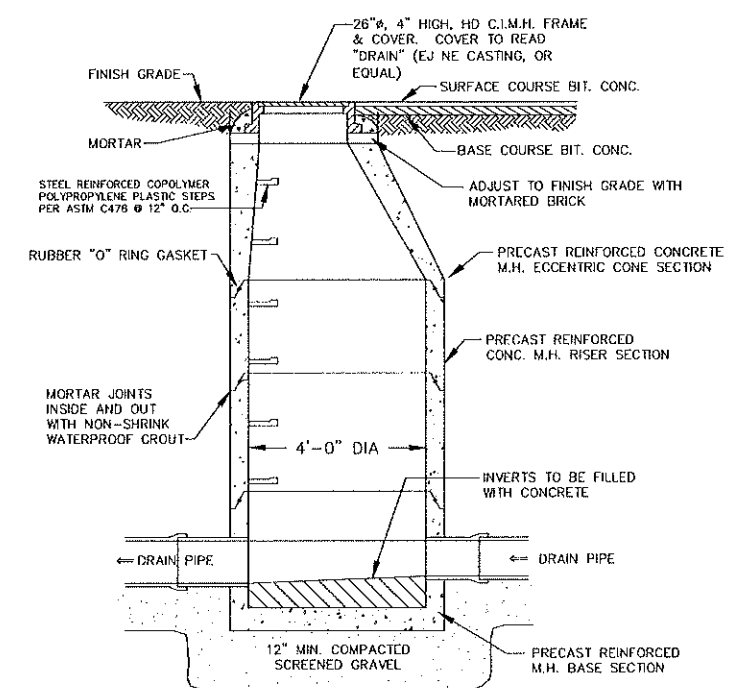
HAY BALE SILTATION BARRIER DETAIL
(NOT TO SCALE)



FABRIC SILTATION FENCE DETAIL
(NOT TO SCALE)

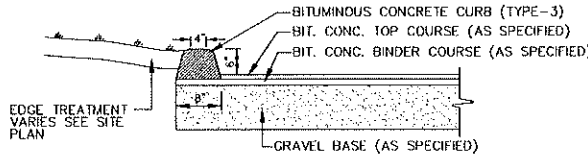


ACCESSIBLE PARKING SPACE STRIPING
NOT TO SCALE

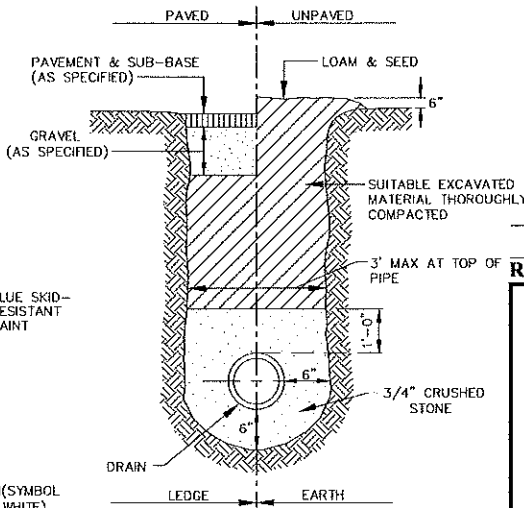


NOTE:
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TYPICAL DRAIN MANHOLE DETAIL
NOT TO SCALE



BITUMINOUS CONCRETE CURB DETAIL
NOT TO SCALE



TYPICAL PIPE TRENCH
NOT TO SCALE

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