

AMENDED SITE CONSTRUCTION PLANS
TAX MAP 1010 - LOT 79-17
PIE HILL WAREHOUSING

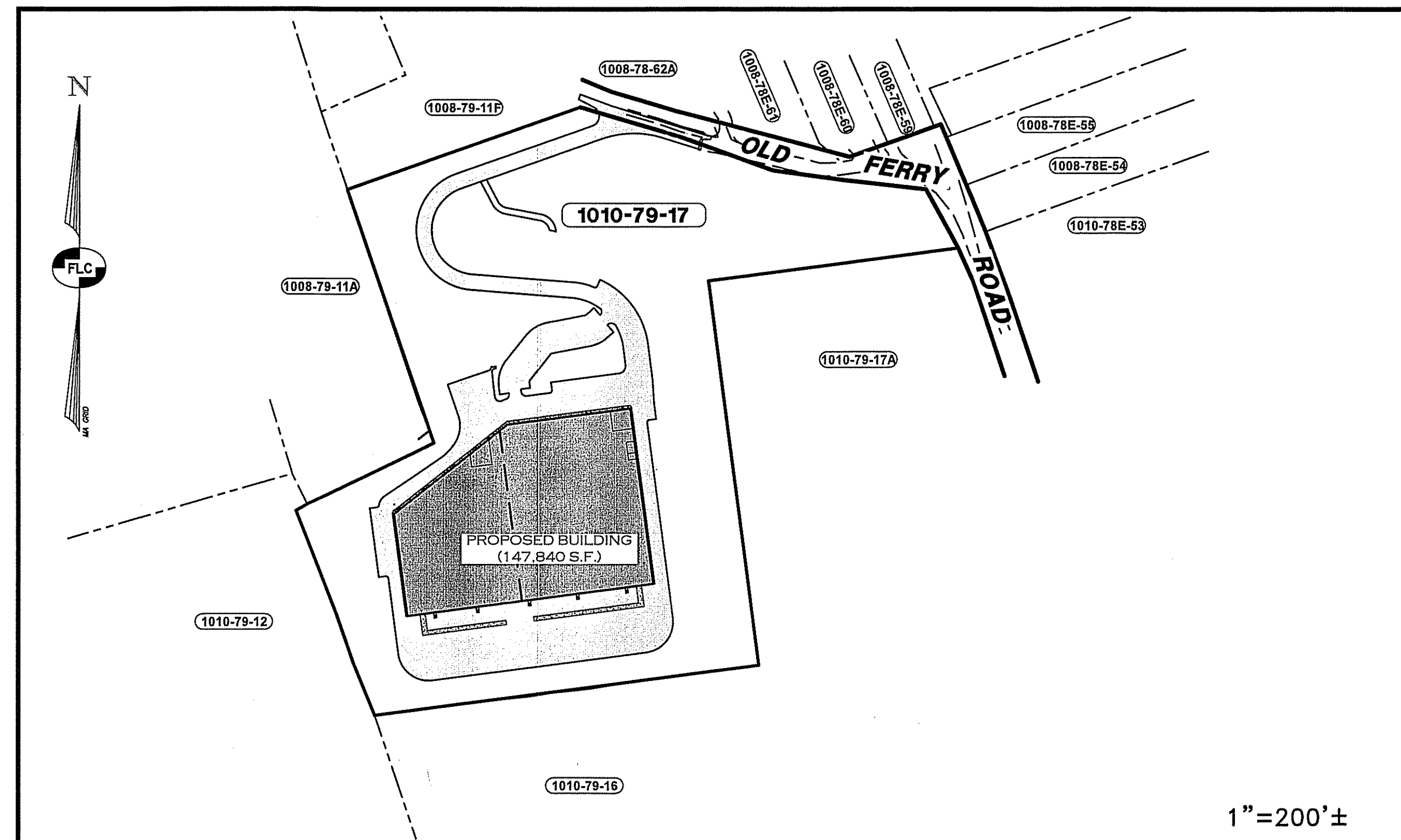
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SPECIAL CONDITIONS:

THE COMMUNITY DEVELOPMENT BOARD FINDS THAT THIS PROJECT GENERALLY COMPLIES WITH THE CITY OF METHUEN ZONING ORDINANCE REQUIREMENTS AS LISTED IN SECTION XII BUT REQUIRES CONDITIONS TO BE FULLY IN COMPLIANCE. THE COMMUNITY DEVELOPMENT HEREBY GRANTS AN APPROVAL TO THE APPLICANT PROVIDED THE FOLLOWING CONDITIONS ARE MET:

- LAND USE CODE (LUC) 150 - WAREHOUSING WAS USED FOR BOTH THE TRAFFIC AND STORMWATER REVIEW OF THIS PROJECT. THIS LAND USE CODE IS APPROPRIATE FOR MOST WAREHOUSES EXCEPT FOR WAREHOUSE AND DISTRIBUTION CENTERS. IF THERE IS A DISTRIBUTION ASPECT TO THIS FACILITY, THE TRIP GENERATION MUST BE REVISITED, AND ADDITIONAL REVIEW MAY BE REQUIRED. IN ADDITION, OTHER INDUSTRIAL USES COULD BE CONSIDERED LUHPL UNDER STANDARD 5 OF THE MASSACHUSETTS STORMWATER STANDARDS AND WOULD NEED AN UPGRADED STORMWATER SYSTEM THAN WHAT IS PROVIDED.
- AS SET FORTH IN THE COMPREHENSIVE ZONING ORDINANCE SECTION VI-B (12) SCREENING & SPACE BUFFERS IN INDUSTRIAL AND BUSINESS DISTRICTS, COMMUNITY DEVELOPMENT BOARD VOTED TO REDUCE THE BUFFERED STRIP BY FIFTY (50%) PERCENT. FOR THIS PROJECT THERE WILL BE A THIRTY (30) FOOT BUFFER ZONE EXTENDING FROM THE LOT LINE OF ALL ADJUTING RESIDENTIAL ZONES (PARCELS 1008-79-11A AND 1008-79-11 F) AND IN ANY OTHER LOCATION WHERE THE BUFFER STRIP HAS BEEN REDUCED FROM 60 TO 30 FEET.
 - ALL WORK ON THE SITE MUST BE OUTSIDE OF THE THIRTY-FOOT BUFFER ZONE WHICH WILL BE CLEARLY MARKED IN THE FIELD.
 - LANDSCAPING PLAN NORTH, SHEET LS-1 AND LS-2, PAGE NO. 15 AND 16 OF 29, DATED APRIL 4, 2022, REV. THROUGH 7/22/22 AS MAY BE REVISED BY THIS DECISION, SETS FORTH THE SIX (6') FOOT STOCKADE FENCE AND ADDITIONAL LANDSCAPING INCLUDING ARBORVITAE AND WHITE PINES TO BE PLANTED.
 - THE STOCKADE FENCE AND LANDSCAPING ARE TO BE INSTALLED AS SOON AS POSSIBLE IN THE CONSTRUCTION SEQUENCE.
- PRIOR TO THE ENDORSEMENT OF THE PLANS BY THE COMMUNITY DEVELOPMENT BOARD, THE FINAL PLANS MUST BE REVIEWED AND APPROVED FOR ACCURACY AND CONFORMANCE WITH THE TERMS OF THIS APPROVAL BY THE CITY'S ENGINEERING DEPARTMENT, THE CITY'S PEER REVIEW CONSULTANT (AS MAY BE REQUIRED BY THE BOARD), AND THE COMMUNITY DEVELOPMENT DEPARTMENT. THE FINAL PLANS MUST BE REVISED IN ACCORDANCE WITH COMMENTS RECEIVED BY THE CITY OF METHUEN STAFF MEMBERS AND PEER REVIEW AGENTS.
 - THE SIXTY FOOT (60') RESIDENTIAL LANDSCAPE BUFFER LINE MUST BE ADDED TO ALL APPLICABLE PLAN SHEETS INCLUDING THE LANDSCAPING PLANS EXTENDING FROM THE PROPERTY LINE OF PARCELS 1008-79-11A AND 1008-79-11F.
 - THE LIMIT OF WORK MUST BE CLEARLY MARKED ON THE PLANS AND MUST BE A MINIMUM OF THIRTY FEET FROM THE PROPERTY LINE WITH THE RESIDENTIALLY ZONED LOTS 1008-79-11F AND 1008-79-11A ON ALL APPLICABLE PLAN SHEETS.
- PRIOR TO THE START OF ANY SITE WORK AND BUILDING PERMIT ISSUANCE:
 - THE LIMIT OF WORK MUST BE CLEARLY MARKED IN THE FIELD AND REVIEWED AND APPROVED BY THE COMMUNITY DEVELOPMENT BOARD OR THEIR DESIGNEE.
 - AN ANALYSIS OF THE PROPOSED WATER SYSTEM (PRESSURE AND VOLUME) MUST BE PREPARED AND STAMPED BY AN APPROPRIATE PROFESSIONAL TO BE REVIEWED AND APPROVED BY THE ENGINEERING DIVISION OF THE DEPARTMENT OF PUBLIC WORKS. (ENG #2)
 - THE APPLICANT HAS OFFERED TO MAKE A \$10,000 DONATION TO THE CITY OF METHUEN FOR UPGRADES AND IMPROVEMENTS TO OLD FERRY ROAD AND A \$15,000 DONATION TO THE CITY FOR SIDEWALKS IMPROVEMENTS.
 - THE COMMUNITY DEVELOPMENT BOARD MUST ENDORSE THE FINAL SITE PLAN MYLARS AND A COPY OF THE SIGNED, RECORDED PLANS MUST BE DELIVERED TO THE COMMUNITY DEVELOPMENT OFFICE.
 - ONE CERTIFIED COPY OF THE RECORDED DECISION MUST BE SUBMITTED TO THE COMMUNITY DEVELOPMENT OFFICE.
 - A BOND IN THE AMOUNT OF \$10,000 SHALL BE POSTED WITH THE FOR THE PURPOSE OF INSURING THAT THE SITE IS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLAN AND THAT A FINAL AS-BUILT PLAN IS PROVIDED SHOWING THE LOCATION OF ALL ON-SITE STRUCTURES.
 - PRIOR TO ANY CONSTRUCTION ACTIVITY OF ANY KIND ASSOCIATED WITH THE PROJECT, THE PROJECT OWNER SHALL SUBMIT TO THE COMMUNITY DEVELOPMENT DEPARTMENT A PROPOSED PHASED CONSTRUCTION SEQUENCE SCHEDULE (TIMETABLE/BAR CHART), SAID SCHEDULE TO BE USED AS A GUIDE TO ACTIVITIES WITHIN THE DEVELOPMENT INCLUDING CONSTRUCTION OF ROADWAYS, UTILITIES, DRAINAGE SYSTEM, STABILIZATION, EARTH REMOVAL AND STOCKPILING. THIS SCHEDULE ONCE ESTABLISHED SHALL NOT BE DEVIATED FROM AND MAY ONLY BE MODIFIED BY AGREEMENT BETWEEN THE PROJECT OWNER AND THE COMMUNITY DEVELOPMENT DEPARTMENT.
 - A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE DEVELOPER, THEIR CONSTRUCTION EMPLOYEES, COMMUNITY DEVELOPMENT DEPARTMENT, AND OTHER APPLICABLE DEPARTMENTS TO DISCUSS SCHEDULING, OF INSPECTIONS TO BE CONDUCTED ON THE PROJECT AND THE CONSTRUCTION SCHEDULE.
 - THE PROJECT OWNER WILL PROVIDE SUPERVISORY CONTACT PERSONNEL ALONG WITH EMERGENCY TELEPHONE NUMBERS THAT ARE ANSWERED ON A 24-HOUR BASIS (ANSWERING MACHINES OR VOICE MAIL ARE NOT ACCEPTABLE).
 - A CONSTRUCTION MONITOR WILL BE REQUIRED AND WILL BE DESIGNATED BY THE COMMUNITY DEVELOPMENT BOARD TO INSPECT THE SITE ON A REGULAR BASIS TO ENSURE CONFORMANCE WITH THE APPROVED PLANS. A SCHEDULE FOR INSPECTION WILL BE DETERMINED AT THE PRE-CONSTRUCTION MEETING AND CREATED BASED UPON THE PHASED CONSTRUCTION SEQUENCE SCHEDULE.
- DURING CONSTRUCTION:
 - CONSTRUCTION ACTIVITIES ON THE SITE SHALL CONFORM TO THE CITY OF METHUEN'S ORDINANCES RELATING TO SUCH WORK.
 - CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED IN A WORKMANLIKE MANNER AT ALL TIMES. BLOWING DUST OR DEBRIS SHALL BE CONTROLLED BY THE APPLICANT THROUGH STABILIZATION, WETTING DOWN, OR OTHER PROPER STORAGE AND DISPOSAL METHODS.
 - IT SHALL BE THE RESPONSIBILITY OF THE APPLICANT TO ASSURE THAT NO EROSION FROM THE CONSTRUCTION SITE SHALL OCCUR WHICH WILL CAUSE DEPOSITION OF SOIL OR SEDIMENT UPON ADJACENT PROPERTIES OR PUBLIC WAYS, EXCEPT AS NORMALLY ANCILLARY TO OFF-SITE CONSTRUCTION. OFF-SITE EROSION WILL BE A BASIS FOR THE COMMUNITY DEVELOPMENT BOARD MAKING A FINDING THAT THE PROJECT IS NOT IN COMPLIANCE WITH THE PLAN; PROVIDED HOWEVER, THAT THE COMMUNITY DEVELOPMENT BOARD SHALL GIVE THE APPLICANT WRITTEN NOTICE OF ANY SUCH FINDING AND TEN DAYS TO CURE SAID CONDITION.
- PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY:
 - THE APPLICANT WILL WORK WITH THE METHUEN DPW TO INSTALL A STOP SIGN AND APPROPRIATE LANE MARKINGS AT THE OLD FERRY ROAD APPROACH TO PLEASANT VALLEY STREET.
 - TRUCKS TRAVELING DOWN THE DRIVEWAY IN OPPOSING DIRECTIONS CONFLICT ALONG THE ROADWAY CURVATURE. BASED ON THE LEVEL OF TRUCK TRAFFIC EXPECTED THIS WILL NOT BE A COMMON OCCURRENCE. THE APPLICANT WILL WORK WITH THE METHUEN DPW TO INSTALL SIGNAGE ALONG THE DRIVEWAY NEAR THE CURVES TO DENOTE NARROWNESS OF THE DRIVEWAY AND POTENTIAL FOR CONFLICT.
 - ALL LANDSCAPING AND THE STOCKADE FENCE ADJACENT TO THE RESIDENTIAL PROPERTY LINES MUST BE INSTALLED AND REVIEWED AND APPROVED BY THE COMMUNITY DEVELOPMENT BOARD OR THEIR DESIGNEE.
 - THE PROJECT OWNER MUST SUBMIT A LETTER FROM THE ENGINEER OF THE PROJECT STATING THAT THE BUILDING, LANDSCAPING, LIGHTING, AND SITE LAYOUT SUBSTANTIALLY COMPLY WITH THE PLANS REFERENCED IN THIS DECISION AS ENDORSED BY THE COMMUNITY DEVELOPMENT BOARD.
 - A FINAL AS-BUILT PLAN SHOWING FINAL TOPOGRAPHY, THE LOCATION OF ALL ON-SITE UTILITIES, STRUCTURES, CURB CUTS, PARKING SPACES AND DRAINAGE FACILITIES, INCLUDING INVERT ELEVATION OF ALL STORM WATER STRUCTURES SHALL BE SUBMITTED TO THE COMMUNITY DEVELOPMENT DEPARTMENT AND THE ENGINEERING DEPARTMENT FOR REVIEW AND APPROVAL.
 - IF ALL SITE RELATED ISSUES, INCLUDING LANDSCAPING (OTHER THAN THE REQUIRED LANDSCAPING AND STOCKADE FENCE ADJACENT TO THE RESIDENTIAL PROPERTY LINES), HAVE NOT BEEN COMPLETED AT THE TIME THE BUILDING ITSELF IS READY FOR OCCUPANCY, THE COMMUNITY DEVELOPMENT BOARD MAY AUTHORIZE THE PROJECT OWNER TO POST A SECURITY SUFFICIENT IN THE OPINION OF THE COMMUNITY DEVELOPMENT BOARD, TO COVER THE COST OF THE CITY OF COMPLETING THE REMAINING SITE ITEMS.
- PRIOR TO THE FINAL RELEASE OF ALL FUNDS: THE COMMUNITY DEVELOPMENT BOARD MUST, BY MAJORITY VOTE, MAKE A FINDING THAT THE SITE IS IN CONFORMANCE WITH THE APPROVED PLAN AND DECISION.
- OTHER CONDITIONS:
 - THE SITE MUST COMPLY WITH SECTION 9-62 OF THE MUNICIPAL CODE, NOISE POLLUTION CONTROL ORDINANCE OF THE CITY OF METHUEN.
 - TO REDUCE NOISE LEVELS THE PROJECT OWNER SHALL KEEP IN OPTIMUM WORKING ORDER, THROUGH REGULAR MAINTENANCE, ALL EQUIPMENT THAT SHALL EMANATE SOUNDS FROM THE STRUCTURES OR SITE.
 - ANY PLANTS, TREES, OR SHRUBS THAT HAVE BEEN INCORPORATED INTO THE LANDSCAPING PLAN APPROVED IN THIS DECISION THAT DIE WITHIN TWO YEARS FROM THE DATE OF PLANTING SHALL BE REPLACED BY THE OWNER. ALL PLANTINGS AND SCREENING DEPICTED ON THE APPROVED PLANS SHALL REMAIN IN PERPETUITY OVER THE LIFE OF THE PROJECT.
 - WITHIN FIVE (5) DAYS OF THE TRANSFER OF OWNERSHIP OF THIS SITE IN WHOLE OR IN PART, THE PROJECT OWNER SHALL NOTIFY THE COMMUNITY DEVELOPMENT DEPARTMENT OF THE NAME AND ADDRESS OF THE NEW OWNER(S). THE PROJECT OWNER SHALL PROVIDE THE NEW OWNER(S) WITH A COPY OF THESE CONDITIONS.
- THE COMMUNITY DEVELOPMENT BOARD HEREBY RESERVES THE RIGHT TO SERVE NOTICE ON APPLICANT OF A CEASE-AND-DESIST WORK ORDER SHOULD A VIOLATION OF THE ENDORSEMENT, THE APPROVAL, THE CONDITIONS, OR THE RESTRICTIONS BE FOUND TO EXIST. SUCH CEASE-AND-DESIST WORK ORDER, WHEN SERVED IN WRITING, DIRECTING ITSELF TO THE VIOLATION OCCURRING, SHALL ACT TO PROHIBIT ALL WORK ON THE AREAS AS MENTIONED IN SUCH ORDER.
- THIS SITE PLAN APPROVAL SHALL BE DEEMED TO HAVE LAPSED TWO YEARS AFTER THE DATE OF THE GRANT OF THIS APPROVAL IF A SUBSTANTIAL USE THEREOF HAS NOT SOONER COMMENCED, EXCEPT FOR GOOD CAUSE. SUCH APPROVAL MAY, FOR GOOD CAUSE, BE EXTENDED IN WRITING BY THE COMMUNITY DEVELOPMENT BOARD UPON THE WRITTEN REQUEST OF THE APPLICANT.
- THE FOLLOWING DOCUMENTS AND PLANS SHALL BE DEEMED PART OF THE DECISION:
 - SITE CONSTRUCTION PLANS: PIE HILL WAREHOUSING, 46 OLD FERRY ROAD, METHUEN, MASSACHUSETTS; PREPARED FOR TRIPLE G PROPERTY LLC; PREPARED BY FIELDSTONE LAND CONSULTANTS, PLLC; CONTAINING 29 SHEETS; DATED APRIL 4, 2022, REVISED THROUGH 8/29/22.
 - STORMWATER MANAGEMENT REPORT, PIE HILL WAREHOUSING (NON-RESIDENTIAL SITE PLAN); TAX MAP 101 LOT 79-17, OLD FERRY ROAD, METHUEN, MA; PREPARED FOR: TRIPLE G, LLC; PREPARED BY: FIELDSTONE LAND CONSULTANTS, PLLC; DATE: APRIL 4, 2022, REVISED THROUGH AUGUST 30, 2022.

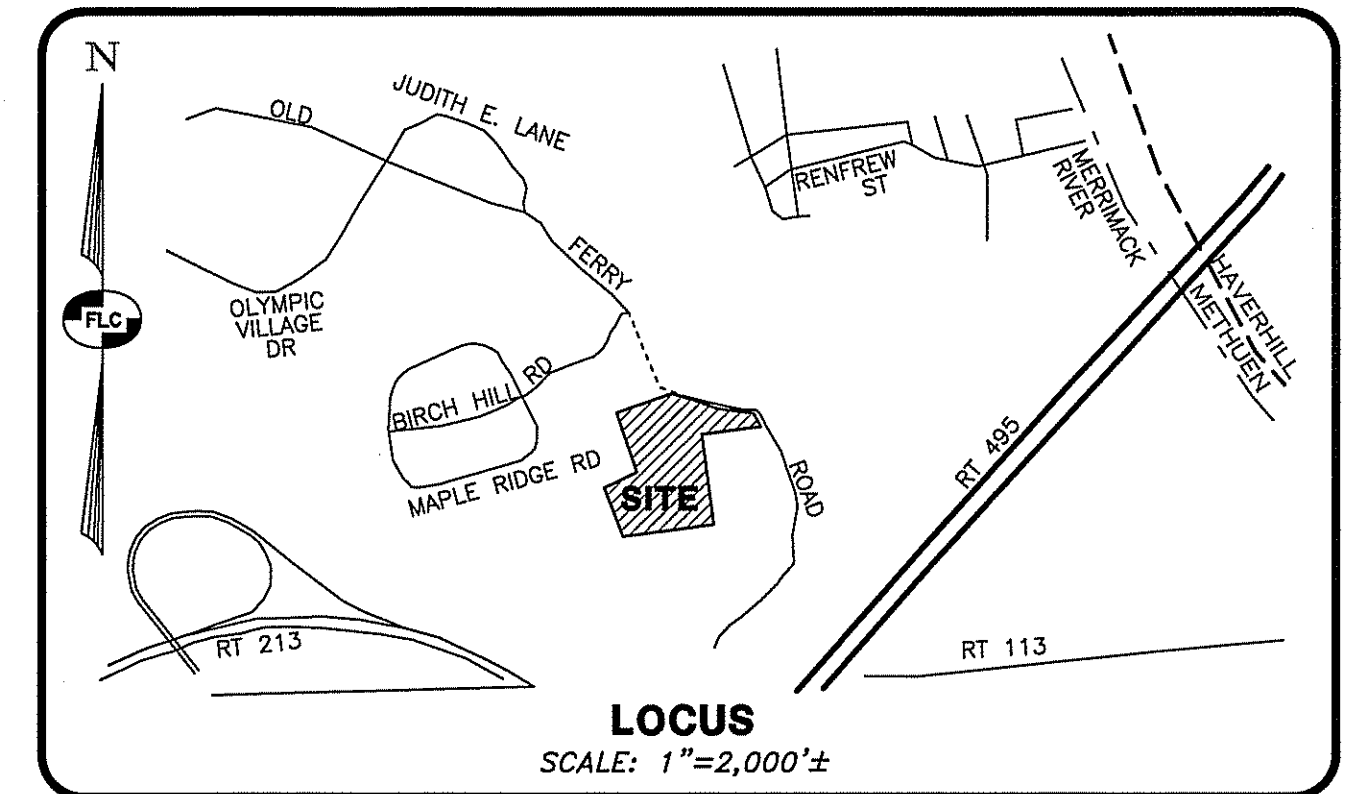
46 OLD FERRY ROAD
METHUEN, MASSACHUSETTS
DATE: APRIL 4, 2022
LAST REVISED: JANUARY 27, 2023



PREPARED FOR AND LAND OF:
TRIPLE G PROPERTY LLC
59 BONANNO COURT
METHUEN, MA 01844

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

FIELDSTONE
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1. THE LOCATION OF THE UTILITIES SHOWN ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PRESERVE ALL UTILITY SERVICES.

2. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL JURISDICTIONAL AGENCIES AND UTILITY COMPANIES PRIOR TO AND DURING CONSTRUCTION.

3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND PROPOSED WORK PRIOR TO CONSTRUCTION.

CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION
DIGSAFE.COM
OR DIAL 811
CALL BEFORE YOU DIG

APPROVED
METHUEN COMMUNITY DEVELOPMENT

CHAIRMAN: _____ DATE _____
SECRETARY _____ DATE _____

G	1/27/23	REVISED PER CONSTRUCTION ADMINISTRATION	CLR	CEB
F	10/18/22	ADDED CONDITIONS OF APPROVAL	CLR	CEB
E	8/29/22	REVISED PER ENGINEERING PEER REVIEW	CLR	CEB
D	8/3/22	REVISED PER ENGINEERING REVIEW	CLR	CEB
C	7/22/22	REVISED PER CONSERVATION COMMISSION REVIEW	CLR	CEB
B	6/29/22	REVISED PER ENGINEERING REVIEW	CLR	CEB
A	6/1/22	REVISED PER CITY COMMENTS	CLR	CEB
REV.	DATE	DESCRIPTION	C/O	DR CK
FILE: Z295CV01G.dwg PROJ. NO. Z295.01 SHEET: CV-1 PAGE NO. 1 OF 29				

LEGEND:

EXISTING FEATURES

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- ABUTTING LOT LINE
- BUILDING SETBACK LINE
- EXISTING EASEMENT LINE
- EDGE OF PAVED ROAD
- EDGE OF GRAVEL ROAD
- STONE WALL
- EDGE OF TREE LINE
- EDGE OF WETLANDS
- WETLANDS BUFFER LINE
- 10' CONTOUR INTERVAL
- 302' 2" CONTOUR INTERVAL
- CHAIN-LINK FENCE
- STOCKADE FENCE
- CULVERT
- OH OVERHEAD UTILITY LINE
- UGE UNDERGROUND ELECTRIC DISCASE
- UG UNDERGROUND GAS LINE
- W WATER LINE

1010-79-17

TAX MAP & LOT NUMBER

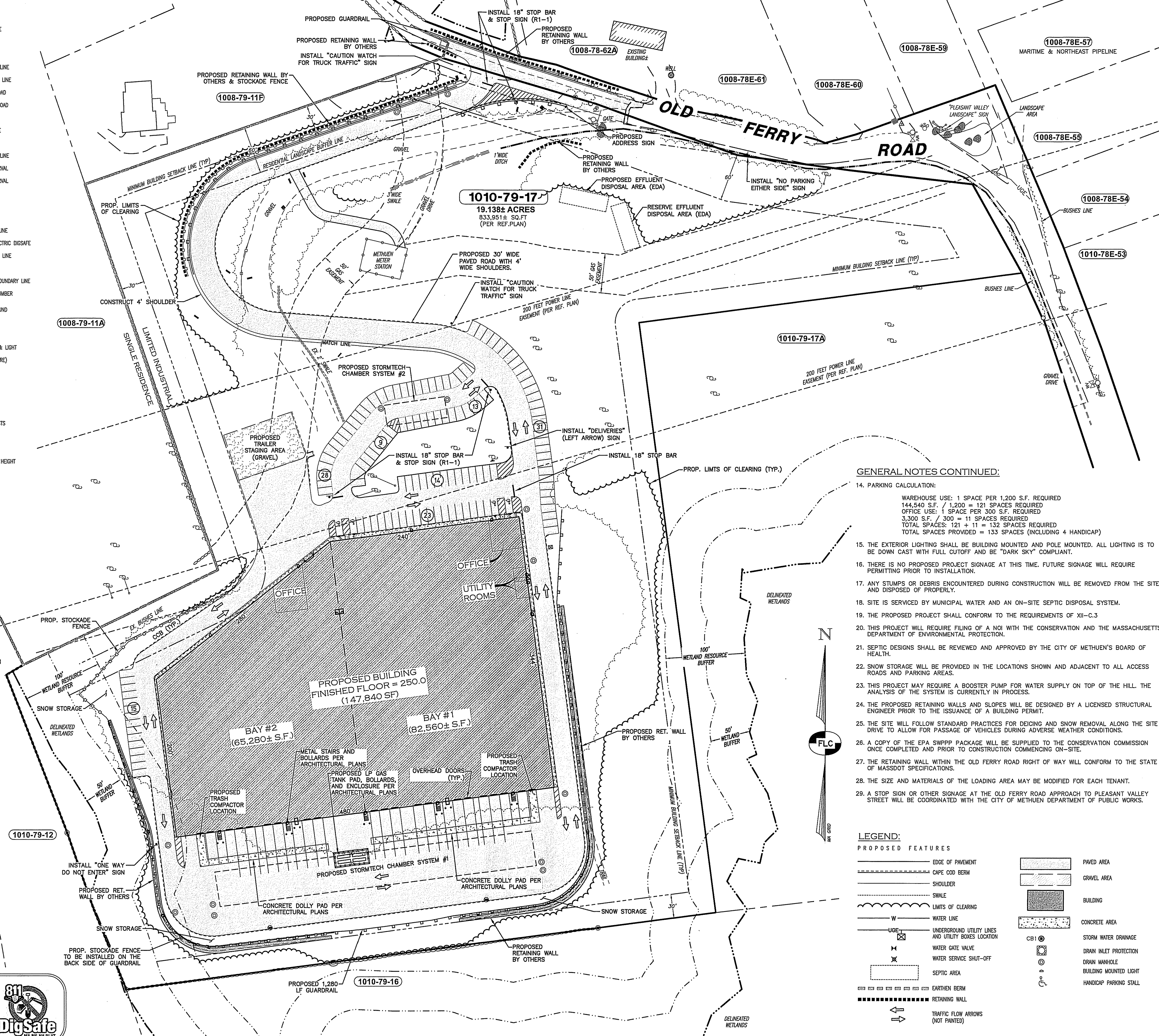
- G.B.(F) GRANITE BOUND FOUND
- D.H.(F) DRILL HOLE FOUND
- L.P.N.(F) IRON PIN FOUND
- UTILITY POLE, GUY & LIGHT
- CATCH BASIN (SQUARE)
- WATER HYDRANT
- WATER VALVE
- WATER SHUT-OFF
- WELL
- SIGN WITH TWO POSTS
- RIP RAP
- ROCK
- BOLLARD 6" DIA 3' HEIGHT

1008-79-11K
ROBERT HAYKAL

1008-79-11L
CITY OF METHUEN

1008-79-11N
CARRIE A LAVALLEE

CONTACT DIG SAFE
72 HOURS PRIOR
TO CONSTRUCTION
DIGSAFE.COM
OR DIAL 8 1 1
CALL 811 - KNOW WHAT'S BELOW



GENERAL NOTES CONTINUED:

14. PARKING CALCULATION:
WAREHOUSE USE: 1 SPACE PER 1,200 S.F. REQUIRED
144,540 S.F. / 1,200 = 121 SPACES REQUIRED
OFFICE USE: 1 SPACE PER 300 S.F. REQUIRED
3,300 S.F. / 300 = 11 SPACES REQUIRED
TOTAL SPACES: 121 + 11 = 132 SPACES REQUIRED
TOTAL SPACES PROVIDED = 133 SPACES (INCLUDING 4 HANDICAP)
15. THE EXTERIOR LIGHTING SHALL BE BUILDING MOUNTED AND POLE MOUNTED. ALL LIGHTING IS TO BE DOWN CAST WITH FULL CUTOFF AND BE "DARK SKY" COMPLIANT.
16. THERE IS NO PROPOSED PROJECT SIGNAGE AT THIS TIME. FUTURE SIGNAGE WILL REQUIRE PERMITTING PRIOR TO INSTALLATION.
17. ANY STUMPS OR DEBRIS ENCOUNTERED DURING CONSTRUCTION WILL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY.
18. SITE IS SERVICED BY MUNICIPAL WATER AND AN ON-SITE SEPTIC DISPOSAL SYSTEM.
19. THE PROPOSED PROJECT SHALL CONFORM TO THE REQUIREMENTS OF XII-C.3
20. THIS PROJECT WILL REQUIRE FILING OF A NOI WITH THE CONSERVATION AND THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION.
21. SEPTIC DESIGNS SHALL BE REVIEWED AND APPROVED BY THE CITY OF METHUEN'S BOARD OF HEALTH.
22. SNOW STORAGE WILL BE PROVIDED IN THE LOCATIONS SHOWN AND ADJACENT TO ALL ACCESS ROADS AND PARKING AREAS.
23. THIS PROJECT MAY REQUIRE A BOOSTER PUMP FOR WATER SUPPLY ON TOP OF THE HILL. THE ANALYSIS OF THE SYSTEM IS CURRENTLY IN PROCESS.
24. THE PROPOSED RETAINING WALLS AND SLOPES WILL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
25. THE SITE WILL FOLLOW STANDARD PRACTICES FOR DEICING AND SNOW REMOVAL ALONG THE SITE DRIVE TO ALLOW FOR PASSAGE OF VEHICLES DURING ADVERSE WEATHER CONDITIONS.
26. A COPY OF THE EPA SWPPP PACKAGE WILL BE SUPPLIED TO THE CONSERVATION COMMISSION ONCE COMPLETED AND PRIOR TO CONSTRUCTION COMMENCING ON-SITE.
27. THE RETAINING WALL WITHIN THE OLD FERRY ROAD RIGHT OF WAY WILL CONFORM TO THE STATE OF MASSDOT SPECIFICATIONS.
28. THE SIZE AND MATERIALS OF THE LOADING AREA MAY BE MODIFIED FOR EACH TENANT.
29. A STOP SIGN OR OTHER SIGNAGE AT THE OLD FERRY ROAD APPROACH TO PLEASANT VALLEY STREET WILL BE COORDINATED WITH THE CITY OF METHUEN DEPARTMENT OF PUBLIC WORKS.

LEGEND:

PROPOSED FEATURES

- EDGE OF PAVEMENT
- CAPE COD BERM
- SHOULDER
- SWALE
- LIMITS OF CLEARING
- W WATER LINE
- UGE UNDERGROUND UTILITY LINES AND UTILITY BOXES LOCATION
- WATER GATE VALVE
- WATER SERVICE SHUT-OFF
- SEPTIC AREA
- EARTHEN BERM
- RETAINING WALL
- TRAFFIC FLOW ARROWS (NOT PAINTED)

PAVED AREA

GRAVEL AREA

BUILDING

CONCRETE AREA

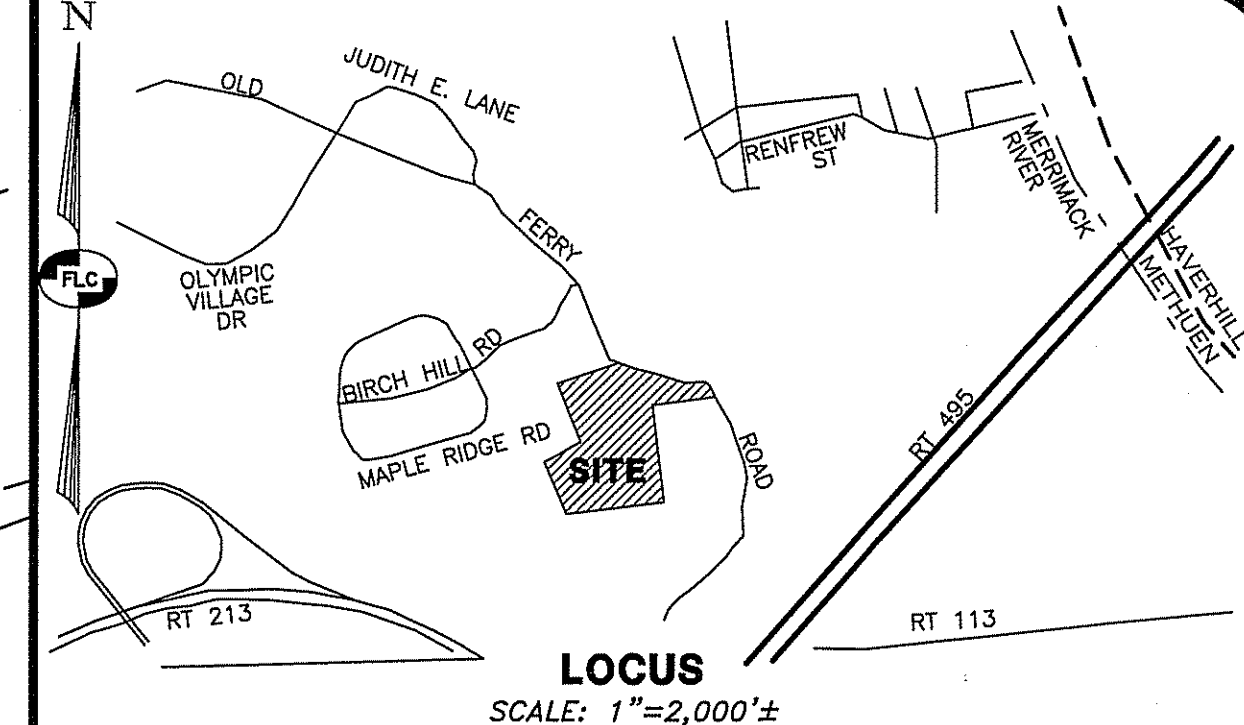
STORM WATER DRAINAGE

DRAIN INLET PROTECTION

DRAIN MANHOLE

BUILDING MOUNTED LIGHT

HANDICAP PARKING STALL

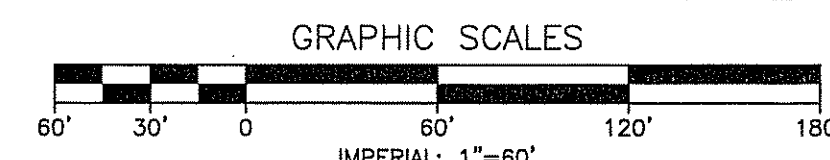


GENERAL NOTES:

1. THE OWNER OF RECORD FOR TAX MAP 1010 LOT 79-17 IS TRIPLE G LLC, 59 BONANNO COURT, METHUEN MA 01844. THE DEED REFERENCE FOR THE LOT IS BK.16544 PG.73 DATED OCTOBER 14, 2020.
2. THE PURPOSE OF THIS PLAN IS TO DEPICT A 147,840 S.F. WAREHOUSE AND ASSOCIATED SITE IMPROVEMENTS ON TAX MAP 1010 LOT 79-17 AS SHOWN.
3. THE TOTAL AREA OF TAX MAP 1010 LOT 79-17 IS 19.138± ACRES OR 833,651 SQ.FT PER REFERENCE PLAN.
4. ZONING FOR THE ENTIRE LOT IS "IL" INDUSTRIAL LIMITED DISTRICT. LOT REQUIREMENTS INCLUDE:

IL ZONE LIGHT INDUSTRIAL	REQUIRED	EXISTING	PROPOSED
MIN LOT AREA	40,000 SF	833,651 SF	833,651 SF
MIN LOT WIDTH	100 FT	567± FT	567± FT
MIN LOT FRONTAGE	100 FT	820.03 FT	820.03 FT
MIN FRONT SETBACK	60 FT	N/A	526.27 FT
MIN SIDE SETBACK	30 FT	N/A	47.73 FT
MIN REAR SETBACK	30 FT	N/A	182.85 FT
MAX. BUILDING HEIGHT	45 FT	N/A	30± FT
MAX. STORIES	4 ST	N/A	1 ST
MAX. LOT COVERAGE	35%	11 %	34.1%
OPEN SPACE	NONE	— %	— %
5. THE WETLAND CONSERVATION DISTRICT OVERLAY REQUIRES A 50 FEET BUFFER.
6. THE LOT LIES OUTSIDE THE BOUNDARY OF THE 100-YEAR FLOOD HAZARD AREA PER FEMA FLOOD INSURANCE RATE MAP (FIRM), ESSEX COUNTY, MASSACHUSETTS, CITY OF METHUEN, COMMUNITY NO. 250093 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER 250093C0069F DATED JULY 3, 2012.
7. THE BOUNDARY INFORMATION SHOWN WAS DEVELOPED ENTIRELY FROM THE REFERENCE PLAN CITED HEREON AND IS NOT A RESULT OF A BOUNDARY SURVEY BY THIS OFFICE. THE LOT IS SUBJECT TO THE FOLLOWING: AN EASEMENT TO NEW ENGLAND POWER COMPANY (SEE BK.713 PG.54 - 6/16/1984), A RIGHT OF WAY AGREEMENT EASEMENT TO PORTLAND NATURAL GAS TRANSMISSION SYSTEM AND MARITIMES & NORTHEAST PIPELINE, LLC (SEE BK.6502 PG.229 - 7/19/1999 AND A RIGHT OF WAY EASEMENT TO MARITIMES & NORTHEAST PIPELINE, LLC (SEE BK.8324 PG.26 - 10/7/2003).
8. THE SURFACE FEATURES AND SITE TOPOGRAPHY SHOWN ARE THE RESULT OF A PARTIAL ON-SITE FIELD SURVEY BY THIS OFFICE DURING THE MONTH OF JANUARY, 2020.
9. THE UNDERGROUND UTILITIES SHOWN SHALL BE CONSIDERED APPROXIMATE AND SHALL BE VERIFIED PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITIES.
10. HORIZONTAL ORIENTATION IS BASED ON THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM, DEVELOPED FROM THE N.O.A.A. ONLINE POSITIONING USER SERVICE (OPUS) WHICH UTILIZES THE HIGH ACCURACY NATIONAL SPATIAL REFERENCE (NSRS). VERTICAL DATUM IS NVD4-88 PER OPUS OBSERVATION ON 01/27/2020.
11. JURISDICTIONAL WETLANDS SHOWN HEREON WERE DELINEATED BY CHRISTOPHER A. GUIDA FROM THIS OFFICE IN DECEMBER, 2019.
12. RIGHT OF WAY OF OLD FERRY ROAD IS PER REFERENCE PLAN CITED HEREON.
13. THE UNDERGROUND WATER LINE SHOWN IS APPROXIMATE AND SHALL BE VERIFIED PRIOR ANY EXCAVATION OR CONSTRUCTION ACTIVITIES. THE PIPE AT THE SUBJECT LOCATION IS A 8" DIAMETER DUCTILE IRON CLASS 52 PER THE CITY OF METHUEN.

SEE SHEET EX-1 FOR ABUTTER INFORMATION



G	1/27/23	REVISED PER CONSTRUCTION ADMINISTRATION	CLR	CEB
F	10/10/22	ADDED LOW AND 60' SETBACK LINE	NRC	CEB
E	8/29/22	REVISED PER ENGINEERING PEER REVIEW	CLR	CEB
D	8/3/22	REVISED PER ENGINEERING REVIEW	CLR	CEB
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A	6/1/22	REVISED PER CITY COMMENTS	CLR	CEB
REV.	DATE	DESCRIPTION	C/O	DR

OVERALL SITE LAYOUT PLAN

PIE HILL WAREHOUSING

TAX MAP 1010 LOT 79-17
(46 OLD FERRY ROAD)
METHUEN, MASSACHUSETTS

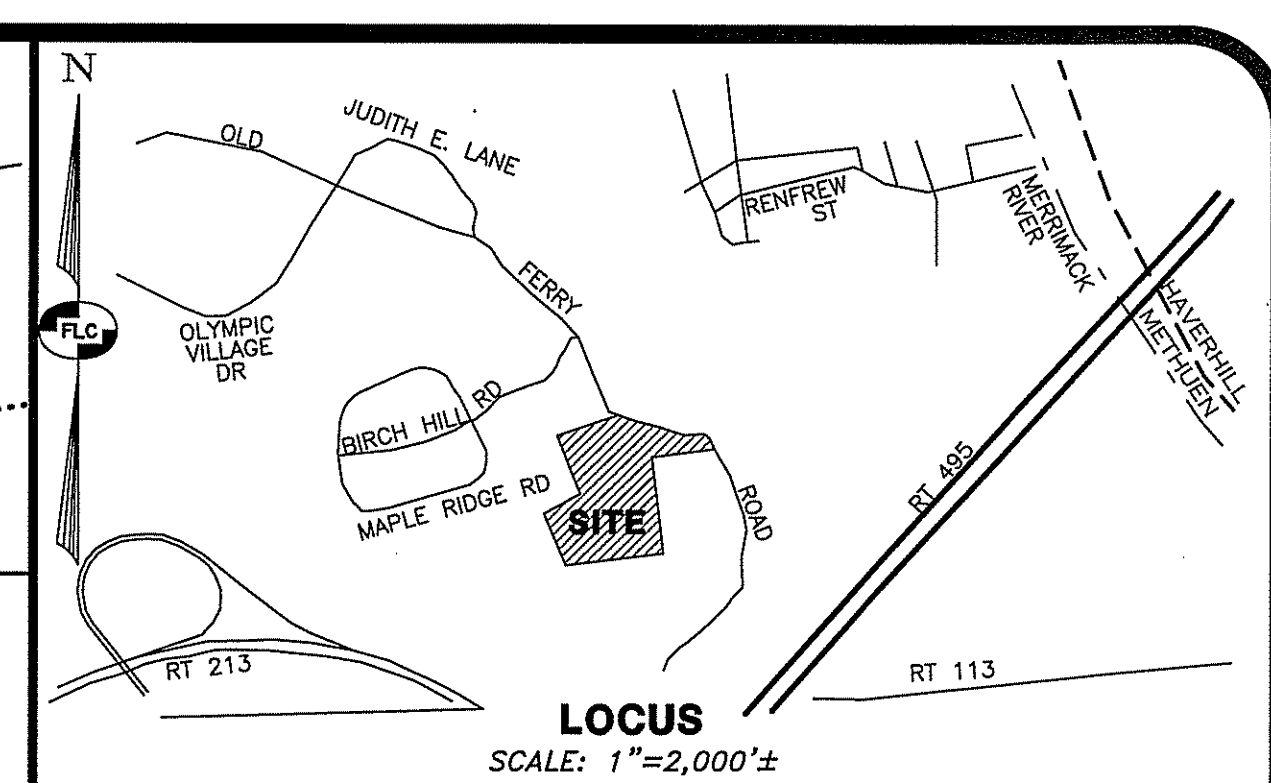
PREPARED FOR AND LAND OF:
TRIPLE G, LLC
59 BONANNO COURT, METHUEN, MA 01844

SCALE: 1" = 60' APRIL 4, 2022

Surveying + Engineering + Land Planning + Permitting + Septic Designs

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LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
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LEGEND:

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- ABUTTING LOT LINE
- BUILDING SETBACK LINE
- EXISTING EASEMENT LINE
- EDGE OF PAVED ROAD
- EDGE OF GRAVEL ROAD
- STONE WALL
- EDGE OF TREE LINE
- EDGE OF WETLANDS
- WETLANDS BUFFER LINE
- 10' CONTOUR INTERVAL
- 2' CONTOUR INTERVAL
- CHAIN-LINK FENCE
- STOCKADE FENCE
- GULCH
- OVERHEAD UTILITY LINE
- UNDERGROUND ELECTRIC DISINFECTANT
- UNDERGROUND GAS LINE
- WATER LINE
- TAX MAP & LOT NUMBER
- GRANITE BOUND FOUND
- DRILL HOLE FOUND
- IRON PIN FOUND
- UTILITY POLE, GUY & LIGHT
- CATCH BASIN (SQUARE)
- WATER HYDRANT
- WATER VALVE
- WATER SHUT-OFF
- WELL
- SIGN WITH TWO POSTS
- RIP RAP
- ROCK
- BOLLARD 8" DIA 3' HIGH
- TEST PIT NUMBER
- LEDS
- SEASONAL HIGH WATER
- OVERHEAD WIRE ELEVATION

NRCS SOILS LEGEND:

SOURCE: USDA NRCS WEB SOIL SURVEY

--- SOIL BOUNDARY

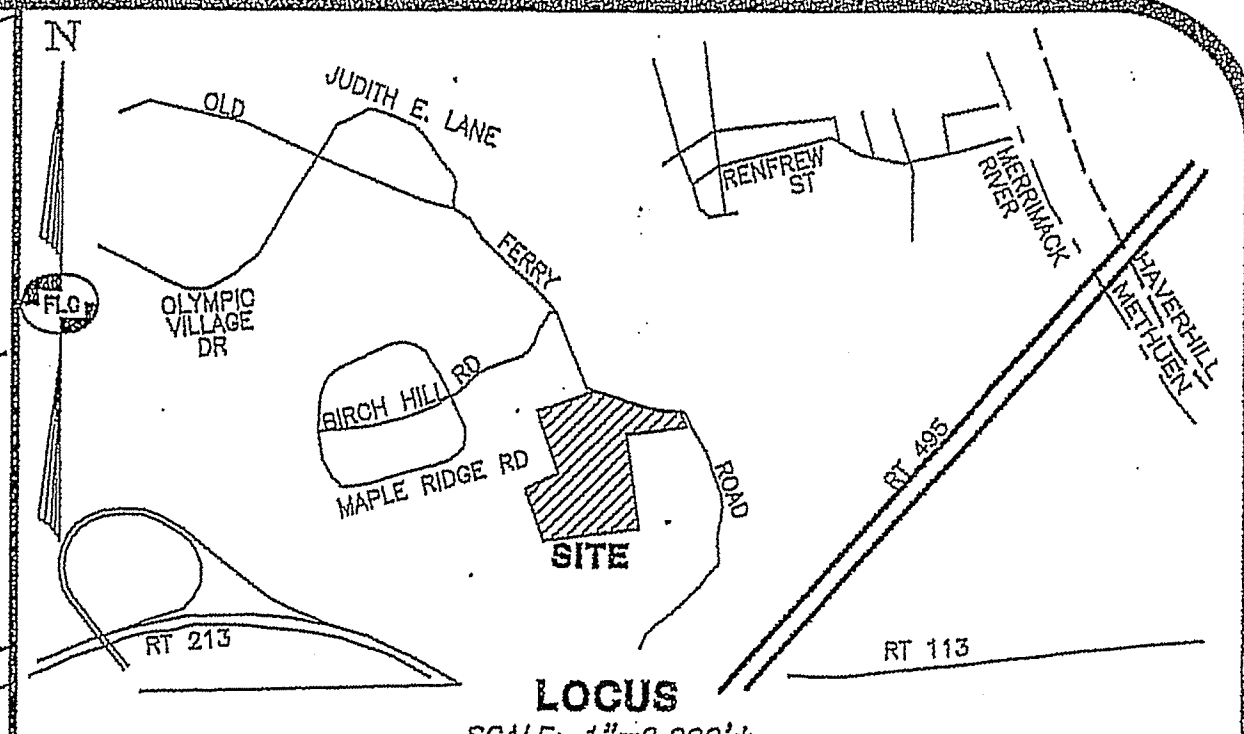
306B PAXTON FINE SANDY LOAM
0 TO 8% SLOPES, VERY STONY

306D PAXTON FINE SANDY LOAM
15 TO 25% SLOPES, VERY STONY

651 UDORTHENTS, SMOOTHED

307E PAXTON FINE SANDY LOAM
25 TO 35% SLOPES, EXTREMELY STONY

311B WOODBRIDGE FINE SANDY LOAM
0 TO 8% SLOPES, VERY STONY



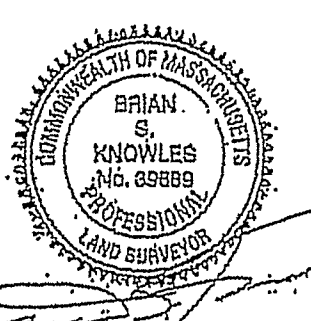
NOTES:

- THE OWNER OF RECORD FOR TAX MAP 1010 LOT 79-17 IS TRIPLE G PROPERTY LLC, 59 BONANNO COURT, METHUEN, MA 01844. THE DEED REFERENCE FOR THE LOT IS BK16844 PG.73 DATED OCTOBER 14, 2020.
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS ON TAX MAP 1010 LOT 79-17 AS SHOWN.
- THE TOTAL AREA OF TAX MAP 1010 LOT 79-17 IS 19.138± ACRES OR 833,851 SQ. FT PER REFERENCE PLAN.
- ZONING FOR THE ENTIRE LOT IS "I1" INDUSTRIAL LIMITED DISTRICT. LOT REQUIREMENTS INCLUDE:
- MINIMUM LOT SIZE: 40,000 SQ. FT.
- MINIMUM FRONTAGE: 100 FEET
- BUILDING SETBACK: 60 FEET FRONT, 30 FEET SIDE & REAR.
- THE WETLAND CONSERVATION DISTRICT OVERLAY REQUIRES A 50-FOOT NON-DISTURBANCE BUFFER AND THE WETLANDS PROTECTION ACT REQUIRES A 100-FOOT BUFFER.
- THE LOT LIES OUTSIDE THE BOUNDARY OF THE 100-YEAR FLOOD HAZARD AREA PER FEMA FLOOD INSURANCE RATE MAP (FIRM), ESSEX COUNTY, MASSACHUSETTS, CITY OF METHUEN, COMMUNITY NO. 250093 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER 250093C0099F DATED JULY 3, 2012.
- THE BOUNDARY INFORMATION SHOWN WAS DEVELOPED ENTIRELY FROM THE REFERENCE PLAN CITED HEREON AND IS NOT A RESULT OF A BOUNDARY SURVEY BY THIS OFFICE. THE LOT IS SUBJECT TO THE FOLLOWING: AN EASEMENT TO NEW ENGLAND POWER COMPANY (SEE BK.713 PG.54 - 6/15/1948), A RIGHT OF WAY AGREEMENT EASEMENT TO PORTLAND NATURAL GAS TRANSMISSION SYSTEM AND MARITIMES & NORTHEAST PIPELINE, LLC (SEE BK.5502 PG.229 - 7/15/1999 AND A RIGHT OF WAY EASEMENT TO MARITIMES & NORTHEAST PIPELINE, LLC (SEE BK.5324 PG.28 - 10/7/2003).
- THE SURFACE FEATURES AND SITE TOPOGRAPHY SHOWN ARE THE RESULT OF A PARTIAL ON-SITE FIELD SURVEY BY THIS OFFICE DURING THE MONTH OF JANUARY, 2020.
- THE UNDERGROUND UTILITIES SHOWN SHALL BE CONSIDERED APPROXIMATE AND SHALL BE VERIFIED PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITIES.
- HORIZONTAL ORIENTATION IS BASED ON THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM, DEVELOPED FROM THE N.G.A.A. ONLINE POSITIONING USER SERVICE (OPUS) WHICH UTILIZES THE HIGH ACCURACY NATIONAL SPATIAL REFERENCE (NSRS). VERTICAL DATUM IS NVD-88 PER OPUS OBSERVATION ON 01/27/2020.
- JURISDICTIONAL WETLANDS SHOWN HEREON WERE DELINEATED BY CHRISTOPHER A. GUIDA FROM THIS OFFICE IN DECEMBER, 2019.
- RIGHT OF WAY OF OLD FERRY ROAD IS PER REFERENCE PLAN CITED HEREON.
- THE UNDERGROUND WATER LINE SHOWN IS APPROXIMATE AND SHALL BE VERIFIED PRIOR ANY EXCAVATION OR CONSTRUCTION ACTIVITIES. THE PIPE AT THE SUBJECT LOCATION IS A 8" DIAMETER DUCTILE IRON CLASS 52 PER THE CITY OF METHUEN.

CERTIFICATION:

"I HEREBY CERTIFY THAT THE EXISTING IMPROVEMENTS SHOWN ARE THE RESULT OF A FIELD SURVEY PERFORMED BY THIS OFFICE ON JANUARY, 2020.

DATE: 04/06/22



CERTIFICATION:

WETLANDS WERE DELINEATED IN ACCORDANCE WITH THE US ARMY CORPS OF ENGINEERS 1987 WETLANDS DELINEATION MANUAL Y-87-1 AND REGIONAL SUPPLEMENT FOR NORTHEAST AND NORTH CENTRAL REGION AND FIELD INDICATORS FOR HYDRIC SOILS IN NEW ENGLAND, BY CHRISTOPHER A. GUIDA, C.W.S., IN DECEMBER, 2019.

DATE: 04/06/22

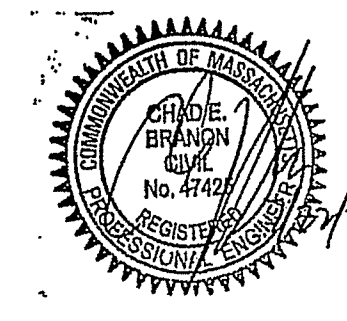


REFERENCE PLAN:

"PERIMETER PLAN - AT - 46 OLD FERRY ROAD - IN - METHUEN, MASSACHUSETTS". SCALE: 1"=80'. PREPARED BY ATLANTIC ENGINEERING & SURVEY CONSULTANTS INC., DATED MAY 30, 2019.

ABUTTER LIST

- | | |
|---|---|
| <p>TAX MAP 1008 LOT 79-11F
JOHN A. & ROBIN M. HARDOE
2 BIRCH HILL ROAD
METHUEN, MA 01844
BK.10827 PG.198 07/05/2007
(2 BIRCH HILL ROAD)</p> <p>TAX MAP 1008 LOT 78E-82A
SUMMIT PLACE INVESTORS LLC
610 CORNELIUS DRIVE, UNIT 143
METHUEN, MA 01844
BK.1324 PG.802 11/01/1977
(OLD FERRY ROAD)</p> <p>TAX MAP 1008 LOT 78E-61
DESAL FERRY LLC
10 SYLVAN STREET
METHUEN, MA 01844-4101
BK.17071 PG.136 05/06/2021
(61 OLD FERRY ROAD)</p> <p>TAX MAP 1008 LOT 78E-60
FINE & OLD FERRY LLC
14 FINE STREET, BOX 74
METHUEN, MA 01844
BK.5991 PG.183 12/12/2000
(69 OLD FERRY ROAD)</p> <p>TAX MAP 1008 LOT 78E-59
CONCUL BROTHERS REALTY LLC
215 NORTH LOWELL STREET
METHUEN, MA 01844
BK.18417 PG.189 03/15/2018
(67 OLD FERRY ROAD)</p> <p>TAX MAP 1008 LOT 78E-55
MARITIMES & NORTHEAST PIPELINE
P.O. BOX 2629
ADDISON, TX 75001-2629
BK.8868 PG.32 05/03/2002
(41 OLD FERRY ROAD)</p> <p>TAX MAP 1008 LOT 78E-54
NEW ENGLAND POWER CO
O/O PROPERTY TAX DEPT
40 SYLVAN ROAD
WALTHAM, MA 02451-2286
BK.724 PG.283 12/02/1947
(OLD FERRY ROAD)</p> <p>TAX MAP 1010 LOT 78E-53
HENRY TORREME
62 HIND STREET
METHUEN, MA 01844-2134
BK.1031 PG.442 04/01/1985
(OLD FERRY ROAD)</p> | <p>TAX MAP 1010 LOT 79-18
CIRCLE G LLC
59 BONANNO COURT
METHUEN, MA 01844
BK.16285 PG.242 04/30/2020
(OLD FERRY ROAD)</p> <p>TAX MAP 1010 LOT 79-12
SUMMIT PLACE INVESTORS LLC
O/O CORNELIUS DRIVE TAX SERVICES
P.O. BOX 9222
METHUEN, MA 02451-2286
BK.13858 PG.44 05/22/2014
(142 20-30 PLEASANT VALLEY STREET)</p> <p>TAX MAP 1008 LOT 79-11A
MASS ELECTRIC COMPANY
O/O PROPERTY TAX DEPT
40 SYLVAN ROAD
METHUEN, MA 02451-2286
BK.5177 PG.134 09/14/1998
(OLD FERRY ROAD)</p> <p>TAX MAP 1010 LOT 79-17A
TRIPLE G PROPERTY LLC
59 BONANNO COURT
METHUEN, MA 01844
BK.16538 PG.112 07/02/2018
(OLD FERRY ROAD)</p> <p>TAX MAP 1008 LOT 79-11G
EDGAR R. & PAMELA A. SANDON
45 BIRCH HILL DRIVE
METHUEN, MA 01844
BK.8868 PG.93 02/14/2002
(4 BIRCH HILL DRIVE)</p> <p>TAX MAP 1008 LOT 79-11J
DEAN CHANDLER
45 MAPLE RIDGE ROAD
METHUEN, MA 01844
BK.18276 PG.34 10/27/2017
(45 MAPLE RIDGE ROAD)</p> <p>TAX MAP 1008 LOT 79-11K
ROBERT & ROUSA HAYAL
43 MAPLE RIDGE ROAD
METHUEN, MA 01844
BK.11229 PG.54 05/25/2008
(43 MAPLE RIDGE ROAD)</p> |
|---|---|



EXISTING CONDITIONS PLAN

TAX MAP 1010 LOT 79-17 (46 OLD FERRY ROAD)

METHUEN, MASSACHUSETTS

PREPARED FOR AND LAND OF:

TRIPLE G PROPERTY LLC

59 BONANNO COURT, METHUEN, MA 01844

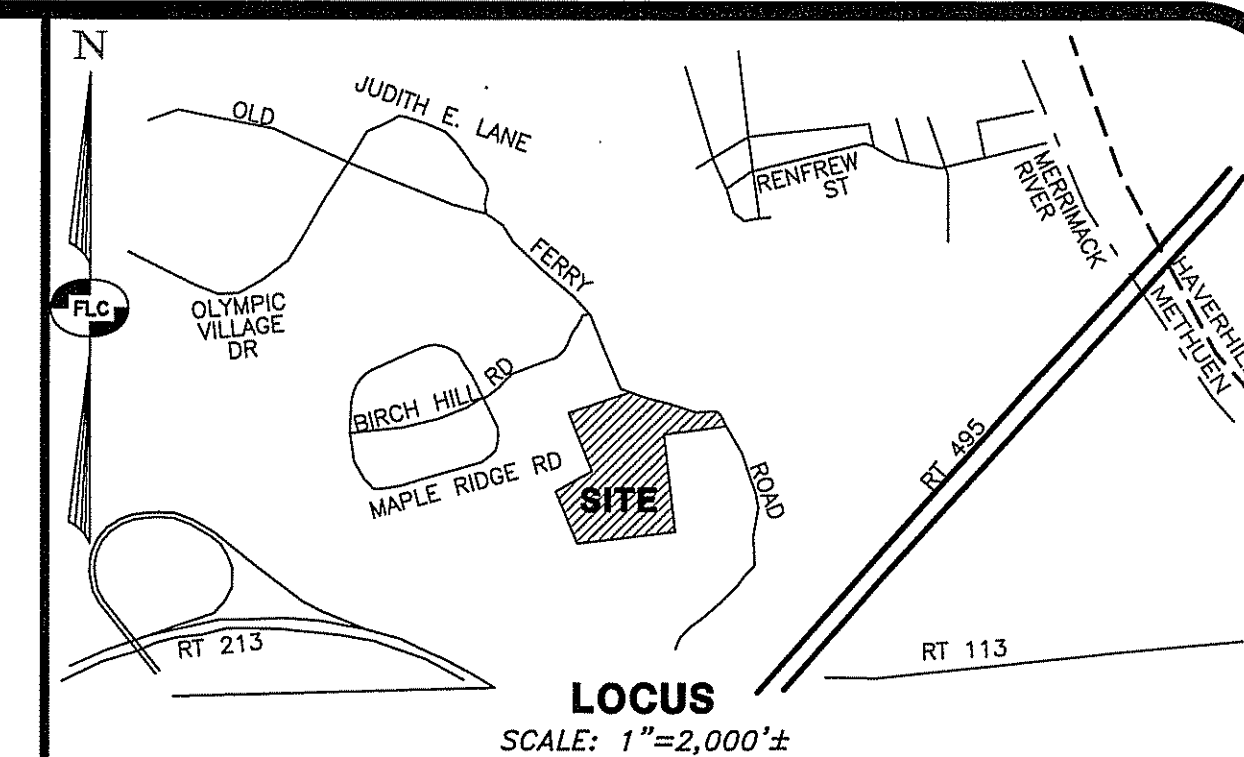
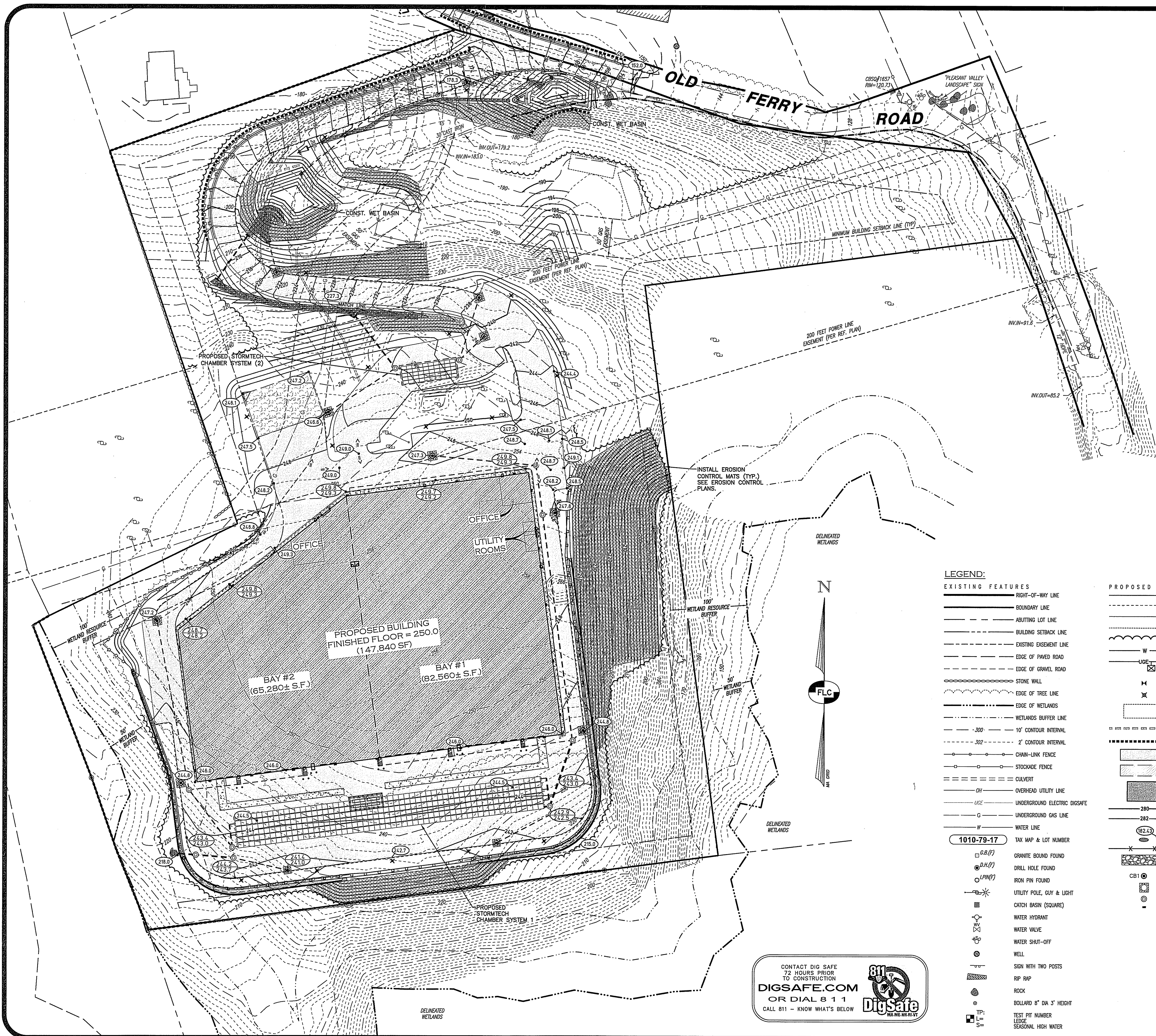
SCALE: 1" = 60' FEBRUARY 04, 2020

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

FIELDSTONE
LAND CONSULTANTS, LLC

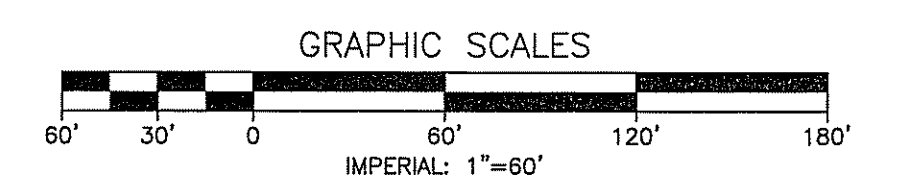
208 Elm Street, Milford, NH 03055
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

FILE: 2205EX01B.dwg PROJ. NO. 2205.01 SHEET: EX-1 PAGE NO. 5 OF 29



- NOTES:**
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF METHUEN AND SHALL BE BUILT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE CITY OF METHUEN DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR ROAD CONSTRUCTION AND SEWERS AND DRAINS AND THE MASSDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
 - ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND THE SPECIFICATIONS NOTED ABOVE. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS CITY/CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACT "DIGSAFE" AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION (811)
 - THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE CITY DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
 - BLASTING, IF REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF METHUEN FIRE DEPARTMENT REGULATIONS
 - ALL DISTURBED NON-PAVED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED THE RETAINING WALLS SHOWN SHALL BE DESIGNED BY OTHERS UNLESS OTHERWISE NOTED
 - ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION
 - EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. THE CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
 - ALL POWER WORK SHALL CONFORM TO LIBERTY UTILITIES STANDARDS.
 - ALL TELEPHONE WORK SHALL CONFORM TO VERIZON SPECIFICATIONS.
 - CONTRACTOR SHALL OBTAIN STRUCTURAL DESIGN PLANS, DETAILS AND SPECIFICATIONS FOR ALL RETAINING WALLS AND SLOPES OVER 3:1 SHOWN ON THIS PLAN PRIOR TO CONSTRUCTION.
 - PORTIONS OF THE EXISTING DRIVEWAY NOT IMPACTED SHALL BE LOAMED AND SEEDED. ASSOCIATED IMPROVEMENTS TO THE EXISTING DRIVEWAY SHALL ALSO BE REMOVED SUCH AS BUT NOT LIMITED TO THE GATE, CULVERTS, ETC. ANY QUESTIONS SHALL BE DIRECTED TO THE PROJECT ENGINEER.
 - SEE ARCHITECTURAL DETAILS FOR ROOF DRAINAGE DETAILS AND SPECIFICATIONS.

SEE SHEET EX-1 FOR SOILS INFORMATION



REV.	DATE	DESCRIPTION	C/O	DR	CK
G	1/27/23	REVISED PER CONSTRUCTION ADMINISTRATION		CLR	CEB
F	10/10/22	FINISH FLOOR ELEV., SITE GRADING		CLR	CEB
E	8/29/22	REVISED PER ENGINEERING PEER REVIEW		CLR	CEB
D	8/3/22	REVISED PER ENGINEERING REVIEW		CLR	CEB
C	7/22/22	REVISED PER CONSERVATION COMMISSION REVIEW		CLR	CEB
B	6/29/22	REVISED PER ENGINEERING & PEER REVIEW		CLR	CEB
A	6/1/22	REVISED PER CITY COMMENTS		CLR	CEB

MASTER GRADING & DRAINAGE PLAN

PIE HILL

WAREHOUSING

TAX MAP 1010 LOT 79-17
(46 OLD FERRY ROAD)
METHUEN, MASSACHUSETTS

PREPARED FOR AND LAND OF:
TRIPLE G, LLC

59 BONANNO COURT, METHUEN, MA 01844

SCALE: 1" = 60' APRIL 4, 2022

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

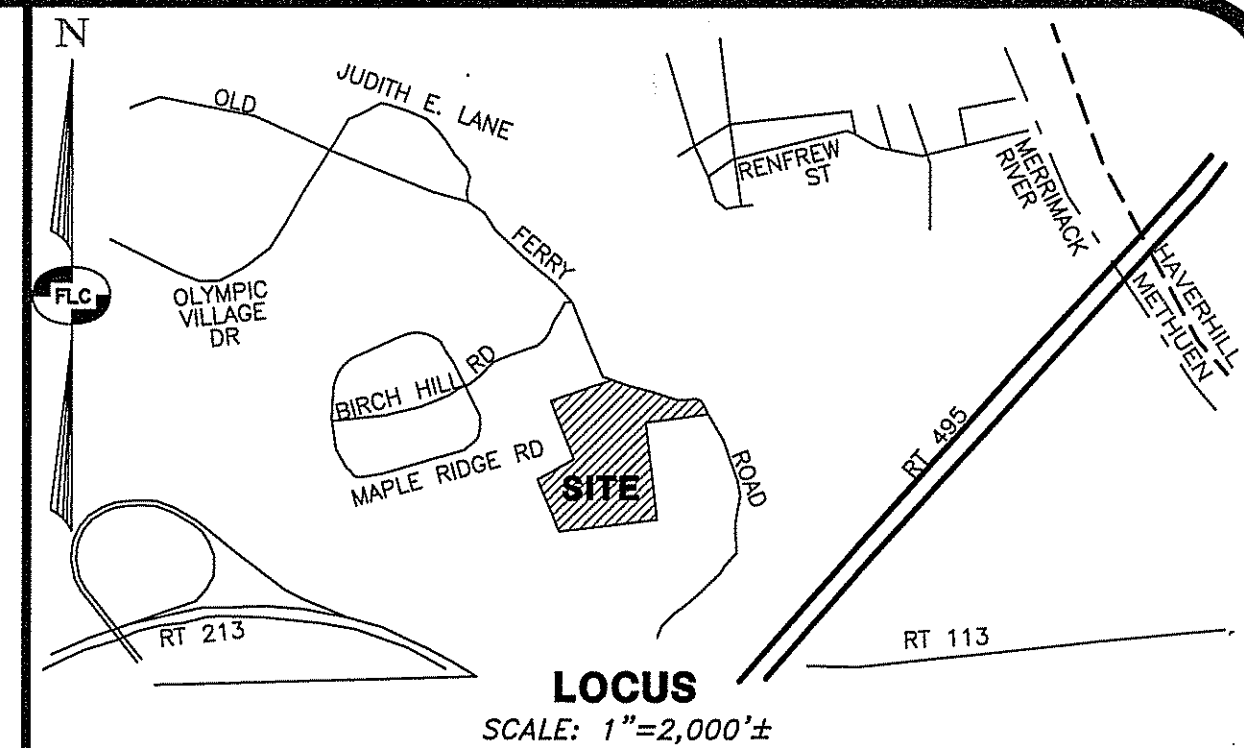
FIELDSTONE
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
 Phone: (603) 672-5456 Fax: (603) 413-5456
 www.FieldstoneLandConsultants.com

- LEGEND:**
- EXISTING FEATURES**
- RIGHT-OF-WAY LINE
 - BOUNDARY LINE
 - ABUTTING LOT LINE
 - BUILDING SETBACK LINE
 - EXISTING EASEMENT LINE
 - EDGE OF PAVED ROAD
 - EDGE OF GRAVEL ROAD
 - STONE WALL
 - EDGE OF TREE LINE
 - EDGE OF WETLANDS
 - WETLANDS BUFFER LINE
 - 10' CONTOUR INTERVAL
 - 2' CONTOUR INTERVAL
 - CHAIN-LINK FENCE
 - STOCKADE FENCE
 - CULVERT
 - OVERHEAD UTILITY LINE
 - UNDERGROUND ELECTRIC DISSAFE
 - UNDERGROUND GAS LINE
 - WATER LINE
 - TAX MAP & LOT NUMBER
 - GRANITE BOUND FOUND
 - DRILL HOLE FOUND
 - IRON PIN FOUND
 - UTILITY POLE, GUY & LIGHT
 - CATCH BASIN (SQUARE)
 - WATER HYDRANT
 - WATER VALVE
 - WATER SHUT-OFF
 - WELL
 - SIGN WITH TWO POSTS
 - RIP RAP
 - ROCK
 - BOLLARD 8" DIA 3' HEIGHT
 - TEST PIT NUMBER
 - LEDE
 - SEASONAL HIGH WATER
- PROPOSED FEATURES**
- EDGE OF PAVEMENT
 - CAPE COD BERM
 - SHOULDER
 - SWALE
 - LIMITS OF CLEARING
 - WATER LINE
 - UNDERGROUND UTILITY LINES AND UTILITY BOXES LOCATION
 - WATER GATE VALVE
 - WATER SERVICE SHUT-OFF
 - SEPTIC AREA
 - EARTHEN BERM
 - RETAINING WALL
 - PAVED AREA
 - GRAVEL AREA
 - BUILDING
 - 10 FT. CONTOUR
 - 2 FT. CONTOUR
 - SPOT ELEVATION
 - STONE CHECK DAM
 - SILT FENCE
 - REINFORCED SWALE (RIPRAP OR FABRIC)
 - STORM WATER DRAINAGE
 - DRAIN INLET PROTECTION
 - DRAIN MANHOLE
 - BUILDING MOUNTED LIGHT

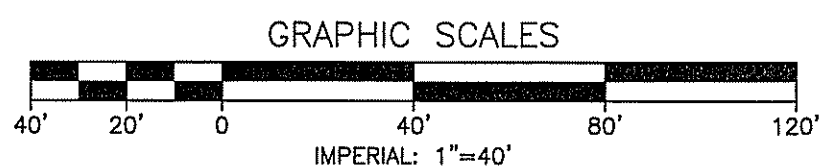
CONTACT DIG SAFE
 72 HOURS PRIOR
 TO CONSTRUCTION
DIGSAFE.COM
 OR DIAL 8 1 1
 CALL 811 - KNOW WHAT'S BELOW

CONTACT DIG SAFE
72 HOURS PRIOR
TO CONSTRUCTION
DIGSAFE.COM
OR DIAL 8 1 1
CALL 811 - KNOW WHAT'S BELOW
DigSafe
MAINE MR-RT



- NOTES:**
1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF METHUEN AND SHALL BE BUILT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE TOWN OF METHUEN DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR ROAD CONSTRUCTION AND SEWERS AND DRAINS AND THE MASSDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
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 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACT "DIGSAFE" AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION (1-888-344-7233)
 5. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
 6. BLASTING, IF REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN OF METHUEN FIRE DEPARTMENT REGULATIONS.
 7. ALL DISTURBED NON-PAVED AREAS SHALL BE LOAMED AND SEEDDED IMMEDIATELY UPON BEING CONSTRUCTED THE RETAINING WALLS SHOWN SHALL BE DESIGNED BY OTHERS UNLESS OTHERWISE NOTED.
 8. ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION.
 9. EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. THE CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
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 13. PORTIONS OF THE EXISTING DRIVEWAY NOT IMPACTED SHALL BE LOAMED AND SEEDDED. ASSOCIATED IMPROVEMENTS TO THE EXISTING DRIVEWAY SHALL ALSO BE REMOVED SUCH AS BUT NOT LIMITED TO THE GATE, CULVERTS, ETC. ANY QUESTIONS SHALL BE DIRECTED TO THE PROJECT ENGINEER.

SEE SHEET EX-1 FOR SOILS INFORMATION



REV.	DATE	DESCRIPTION	C/O	DR	CK
G	1/27/23	REVISED PER CONSTRUCTION ADMINISTRATION		CLR	CEB
F	8/29/22	REVISED PER ENGINEERING PEER REVIEW		CLR	CEB
E	8/8/22	REVISED PER IN HOUSE REVIEW		CLR	CEB
D	8/3/22	REVISED PER ENGINEERING REVIEW		CLR	CEB
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A	6/1/22	REVISED PER CITY COMMENTS		CLR	CEB
REV.	DATE	DESCRIPTION	C/O	DR	CK

GRADING & DRAINAGE PLAN NORTH
PIE HILL
WAREHOUSING
TAX MAP 1010 LOT 79-17
(46 OLD FERRY ROAD)
METHUEN, MASSACHUSETTS
PREPARED FOR AND LAND OF:
TRIPLE G, LLC
59 BONANNO COURT, METHUEN, MA 01844

SCALE: 1" = 40' APRIL 4, 2022

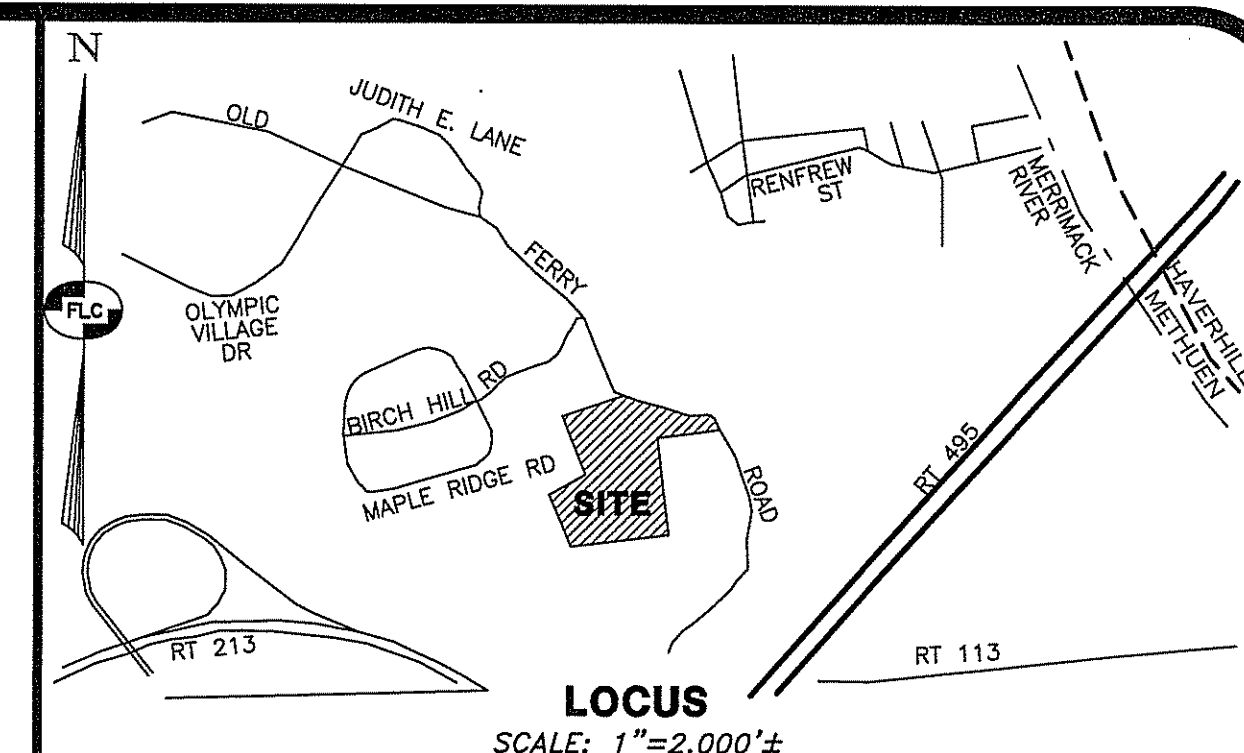
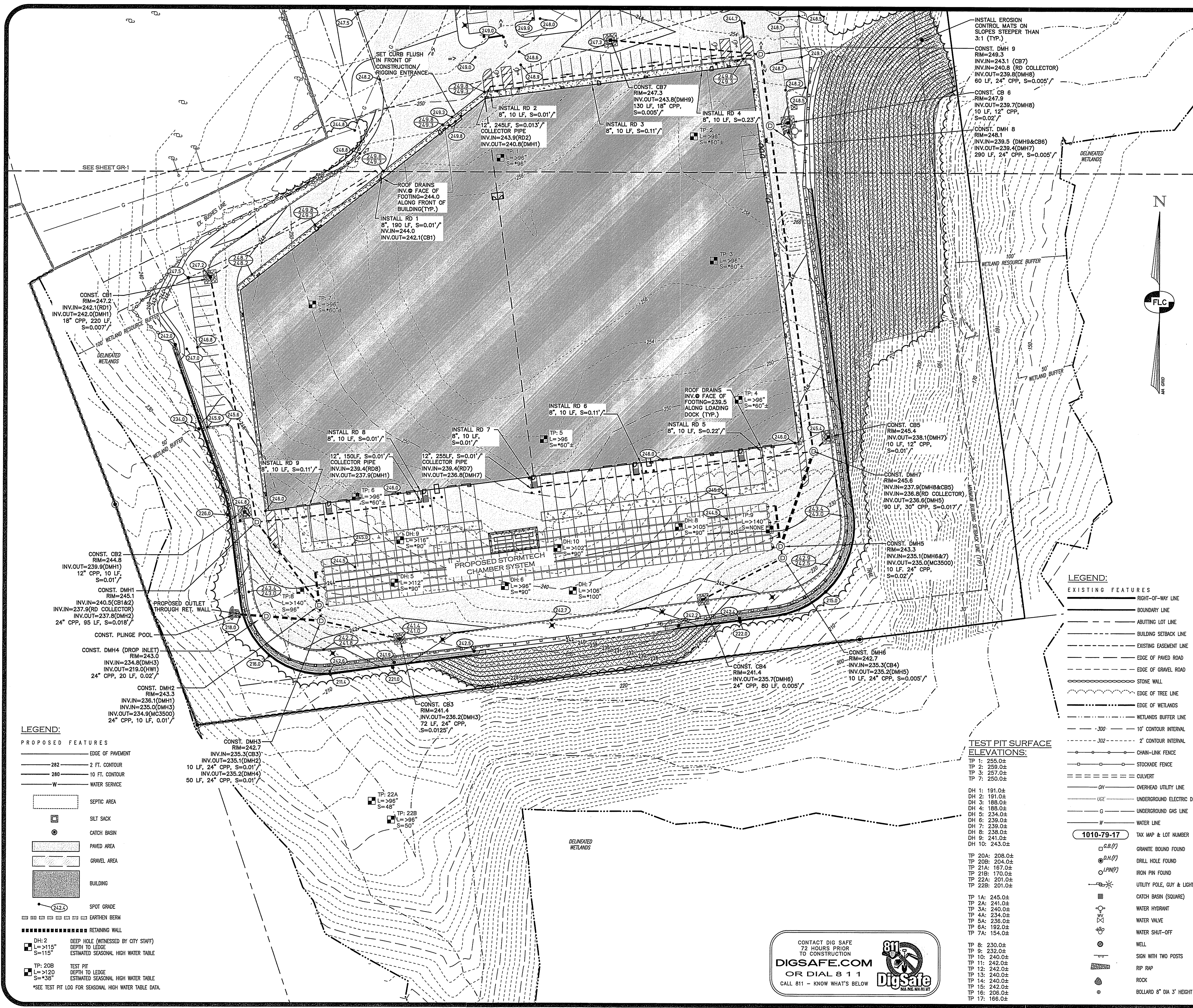
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FILE: 2295SP01K.dwg PROJ. NO. 2295.01 SHEET: GR-1 PAGE NO. 7 OF 29



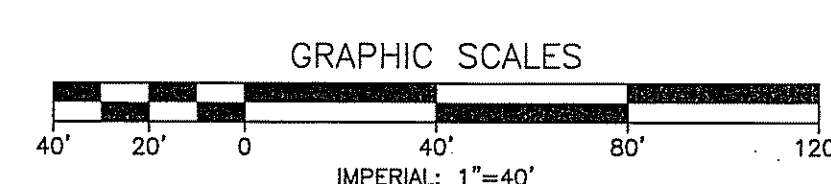
- LEGEND:**
- PROPOSED FEATURES**
- 282 — 2 FT. CONTOUR
 - 280 — 10 FT. CONTOUR
 - W — WATER SERVICE
 - SEPTIC AREA
 - SILT SACK
 - CATCH BASIN
 - PAVED AREA
 - GRAVEL AREA
 - BUILDING
 - SPOT GRADE
 - RETAINING WALL
 - DEEP HOLE (WITNESSED BY CITY STAFF)
 - TEST PIT
 - DEPTH TO LEDGE
 - ESTIMATED SEASONAL HIGH WATER TABLE
- TEST PIT SURFACE ELEVATIONS:**
- TP 1: 255.0±
TP 2: 259.0±
TP 3: 257.0±
TP 7: 250.0±
- DH 1: 191.0±
DH 2: 191.0±
DH 3: 188.0±
DH 4: 188.0±
DH 5: 234.0±
DH 6: 239.0±
DH 7: 239.0±
DH 8: 238.0±
DH 9: 241.0±
DH 10: 243.0±
- TP 20A: 208.0±
TP 20B: 204.0±
TP 21A: 167.0±
TP 21B: 170.0±
TP 22A: 201.0±
TP 22B: 201.0±
- TP 1A: 245.0±
TP 2A: 241.0±
TP 3A: 240.0±
TP 4A: 234.0±
TP 5A: 236.0±
TP 6A: 192.0±
TP 7A: 154.0±
- TP 8: 230.0±
TP 9: 232.0±
TP 10: 240.0±
TP 11: 242.0±
TP 12: 242.0±
TP 13: 240.0±
TP 14: 240.0±
TP 15: 242.0±
TP 16: 205.0±
TP 17: 166.0±

- LEGEND:**
- EXISTING FEATURES**
- RIGHT-OF-WAY LINE
 - BOUNDARY LINE
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 - CULVERT
 - OVERHEAD UTILITY LINE
 - UNDERGROUND ELECTRIC DISSAFE
 - UNDERGROUND GAS LINE
 - WATER LINE
- 1010-79-17**
- GR(F) GRANITE BOUND FOUND
 - DR(F) DRILL HOLE FOUND
 - IR(F) IRON PIN FOUND
 - UT(F) UTILITY POLE, GUY & LIGHT
 - CB(SQ) CATCH BASIN (SQUARE)
 - WH WATER HYDRANT
 - WV WATER VALVE
 - WSO WATER SHUT-OFF
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 - SWP SIGN WITH TWO POSTS
 - RIP RIP RAP
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 - TP: TEST PIT NUMBER
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 - PORTIONS OF THE EXISTING DRIVEWAY NOT IMPACTED SHALL BE LOAMED AND SEEDED. ASSOCIATED IMPROVEMENTS TO THE EXISTING DRIVEWAY SHALL ALSO BE REMOVED SUCH AS BUT NOT LIMITED TO THE GATE, CULVERTS, ETC.. ANY QUESTIONS SHALL BE DIRECTED TO THE PROJECT ENGINEER.

SEE SHEET EX-1 FOR SOILS INFORMATION



REV.	DATE	DESCRIPTION	C/O	DR	CK
G	1/27/23	REVISED PER CONSTRUCTION ADMINISTRATION		CLR	CEB
F	8/29/22	REVISED PER ENGINEERING PEER REVIEW		CLR	CEB
E	8/8/22	REVISED PER IN HOUSE REVIEW		CLR	CEB
D	8/3/22	REVISED PER ENGINEERING REVIEW		CLR	CEB
C	7/22/22	REVISED PER CONSERVATION COMMISSION REVIEW		CLR	CEB
B	6/29/22	REVISED PER ENGINEERING & PEER REVIEW		CLR	CEB
A	6/1/22	REVISED PER CITY COMMENTS		CLR	CEB
REV.	DATE	DESCRIPTION	C/O	DR	CK

GRADING & DRAINAGE PLAN SOUTH PIE HILL WAREHOUSING

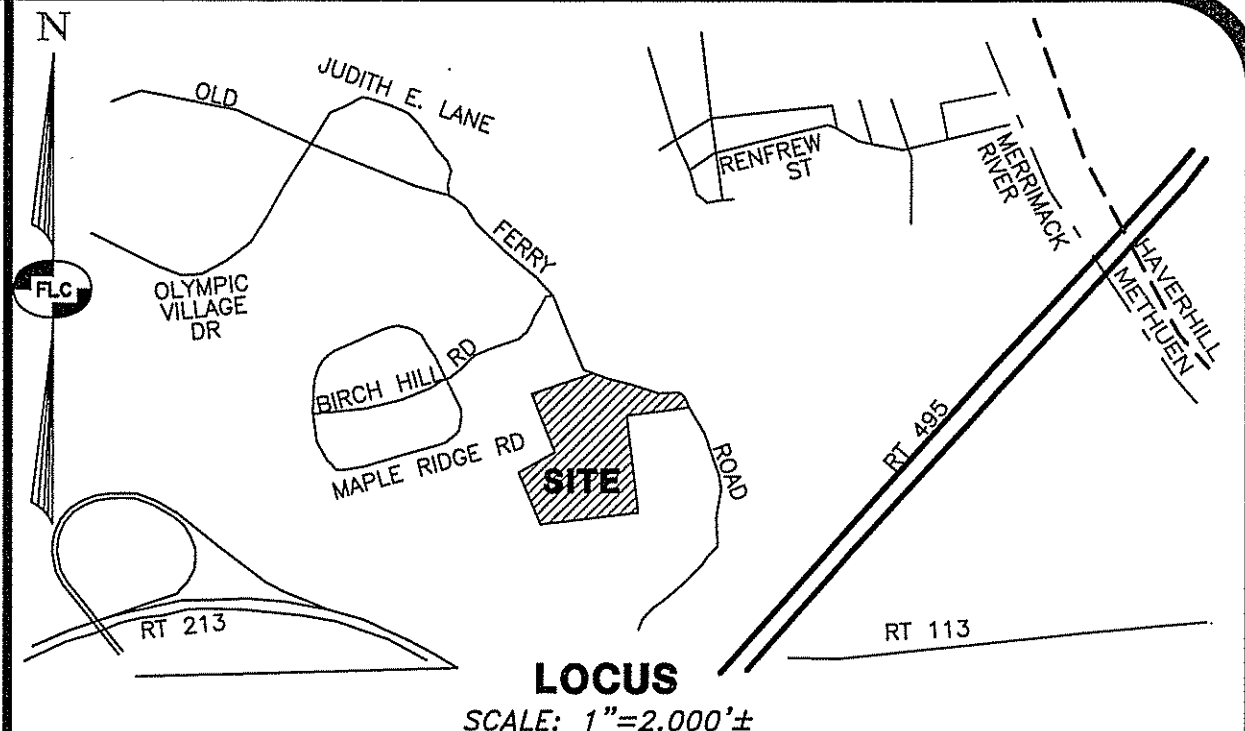
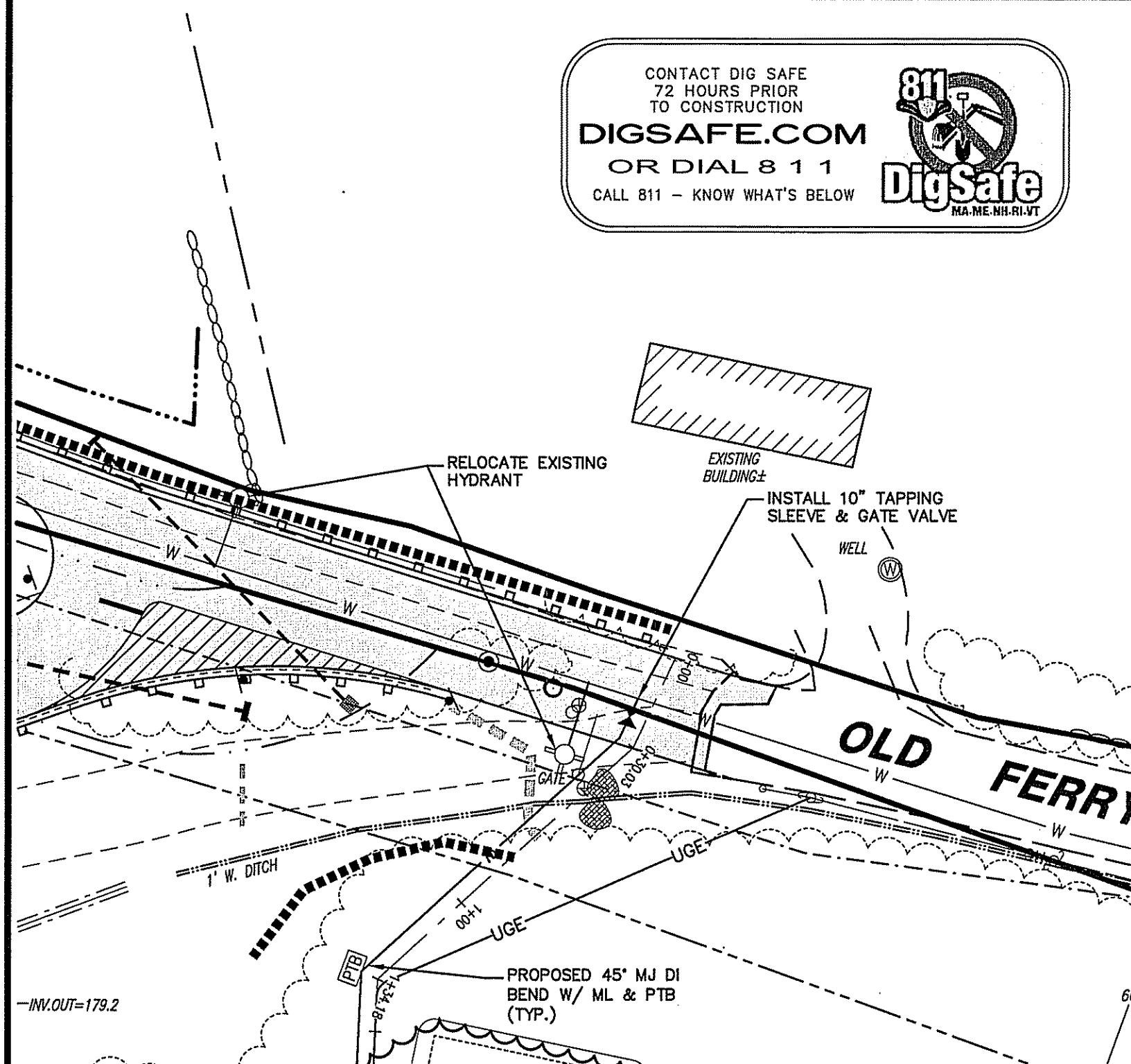
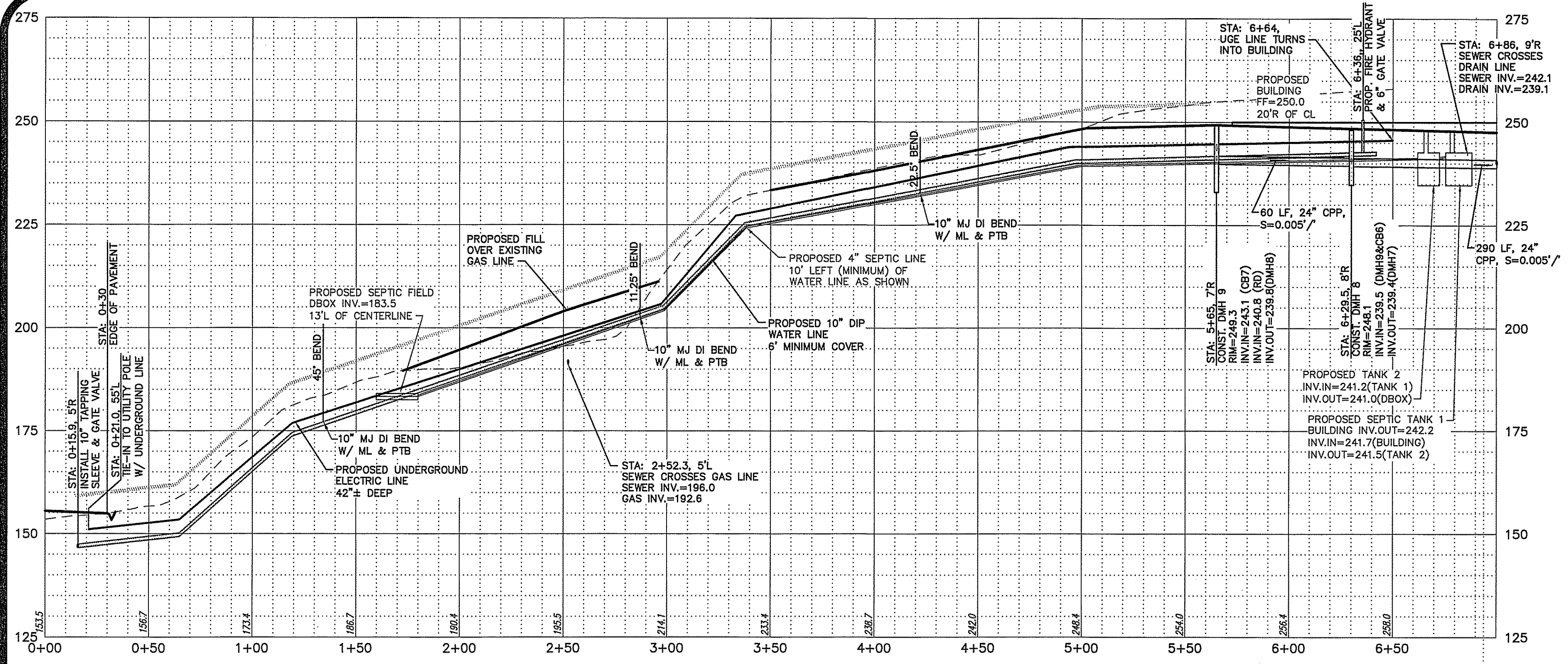
TAX MAP 1010 LOT 79-17
(46 OLD FERRY ROAD)
METHUEN, MASSACHUSETTS
PREPARED FOR AND LAND OF:
TRIPLE G, LLC
59 BONANNO COURT, METHUEN, MA 01844

SCALE: 1" = 40' APRIL 4, 2022

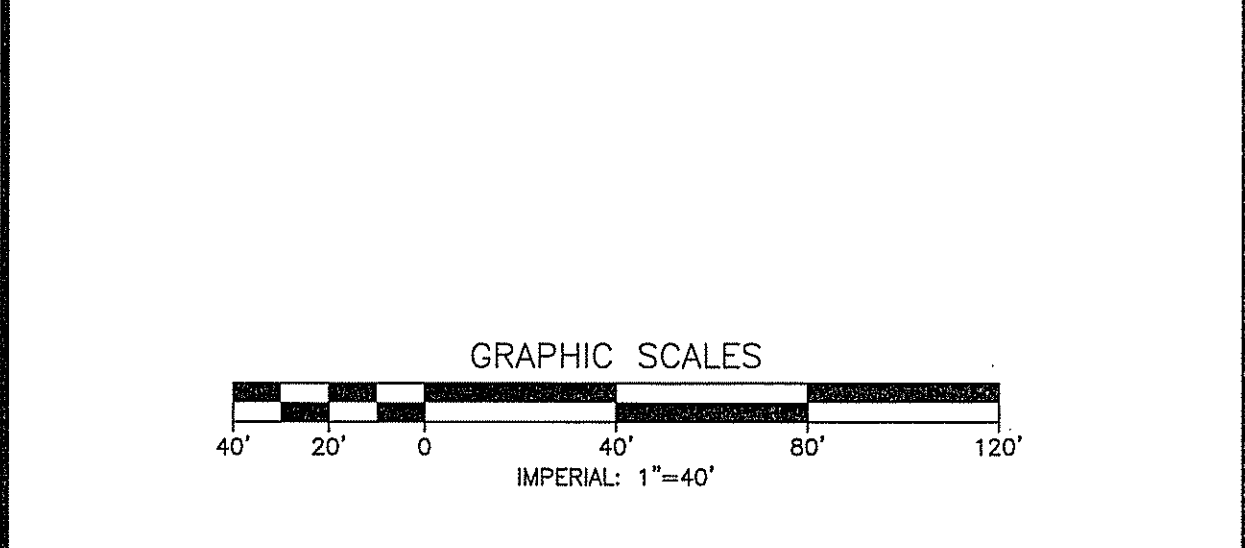
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UTILITY PLAN NORTH
PIE HILL
WAREHOUSING
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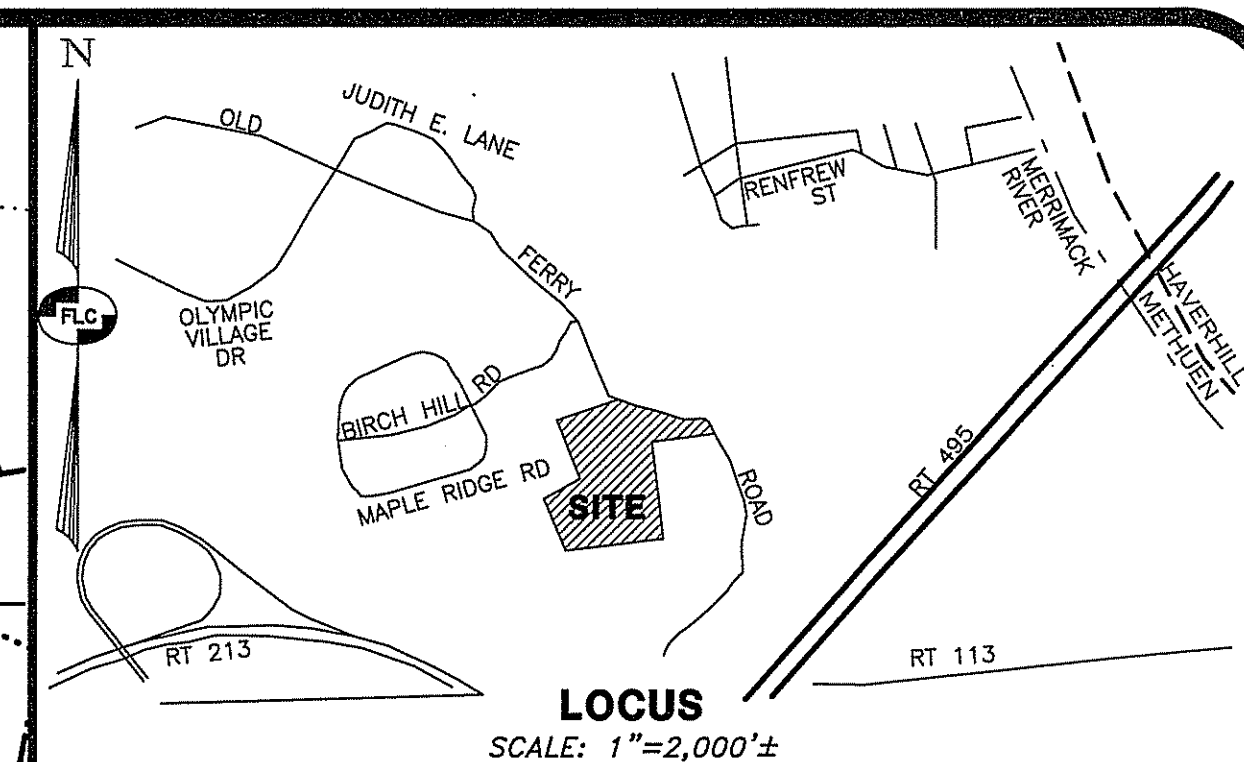
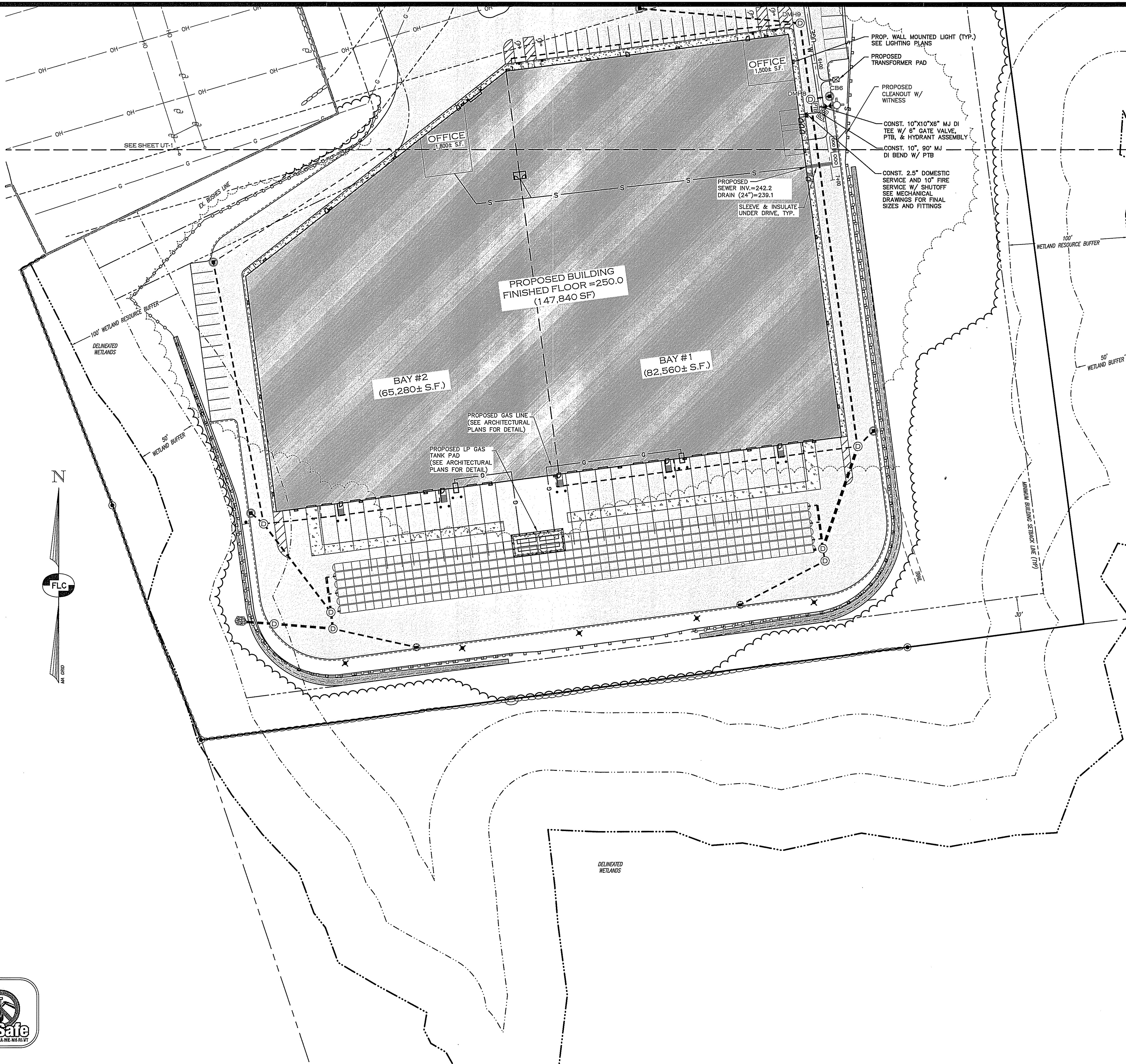
EXISTING FEATURES

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- ABUTTING LOT LINE
- BUILDING SETBACK LINE
- EXISTING EASEMENT LINE
- EDGE OF PAVED ROAD
- EDGE OF GRAVEL ROAD
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- 302' 2' CONTOUR INTERVAL
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- OH — OVERHEAD UTILITY LINE
- UGE — UNDERGROUND ELECTRIC DISSAFE
- G — UNDERGROUND GAS LINE
- W — WATER LINE

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PROPOSED FEATURES

- EDGE OF PAVEMENT
- W — WATER SERVICE
- S — SEWER SERVICE
- UGE — UNDERGROUND UTILITY LINES AND UTILITY BOXES LOCATION
- SEPTIC AREA
- PAVED AREA
- GRAVEL AREA
- PRECAST THRUST BLOCK
- CB — DRAINAGE CATCH BASIN
- HW — DRAINAGE HEADWALL
- MH — DRAINAGE MANHOLE
- WATER GATE VALVE
- WATER SHUT OFF
- FIRE HYDRANT

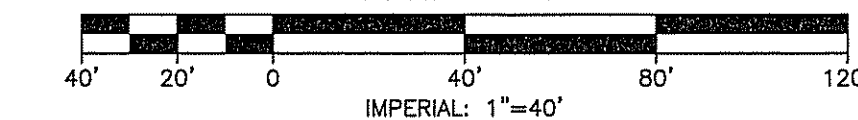


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SEE SHEET UT-1 FOR UTILITY PROFILE

GRAPHIC SCALES



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UTILITY PLAN SOUTH PIE HILL WAREHOUSING

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(46 OLD FERRY ROAD)
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PREPARED FOR AND LAND OF:
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SCALE: 1" = 40'

APRIL 4, 2022

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EXISTING FEATURES

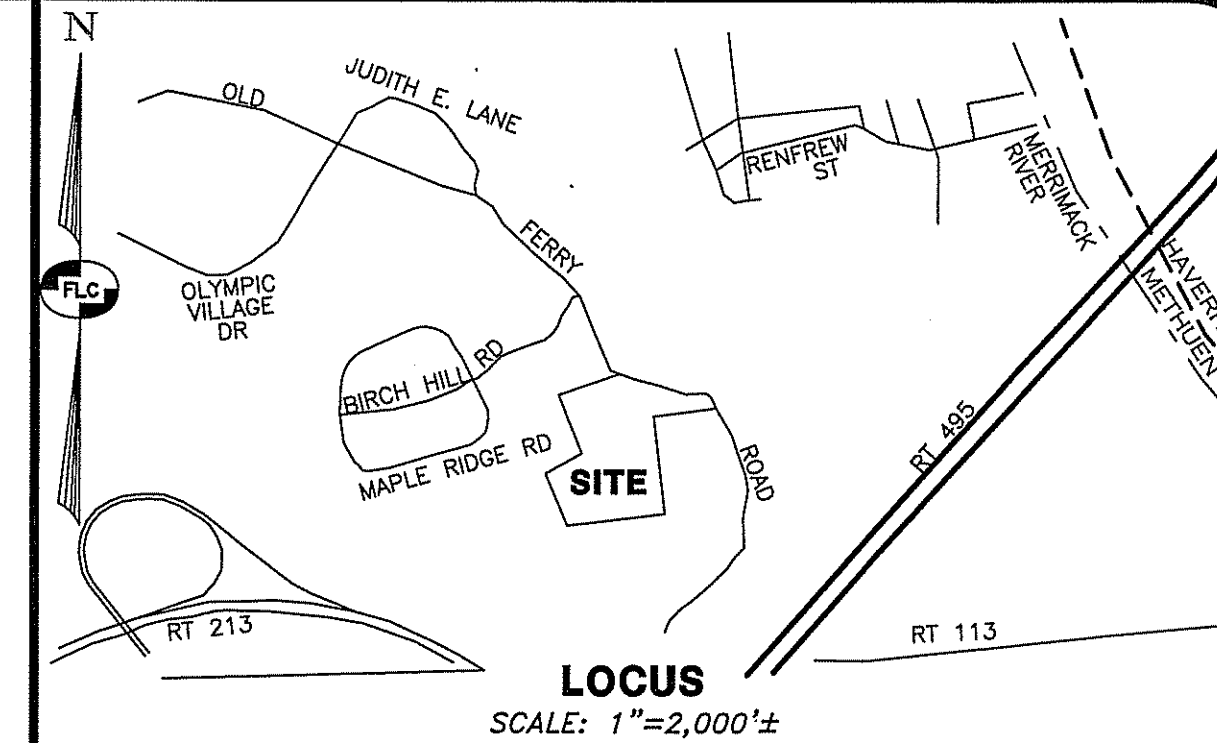
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1010-79-17

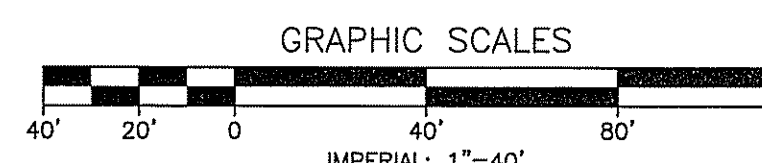
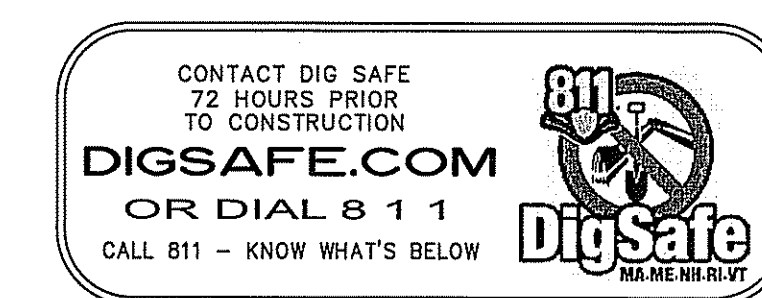
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PROPOSED FEATURES

- EDGE OF PAVEMENT
- 2 FT. CONTOUR
- 10 FT. CONTOUR
- SILT FENCE
- STRAW BALE BARRIER
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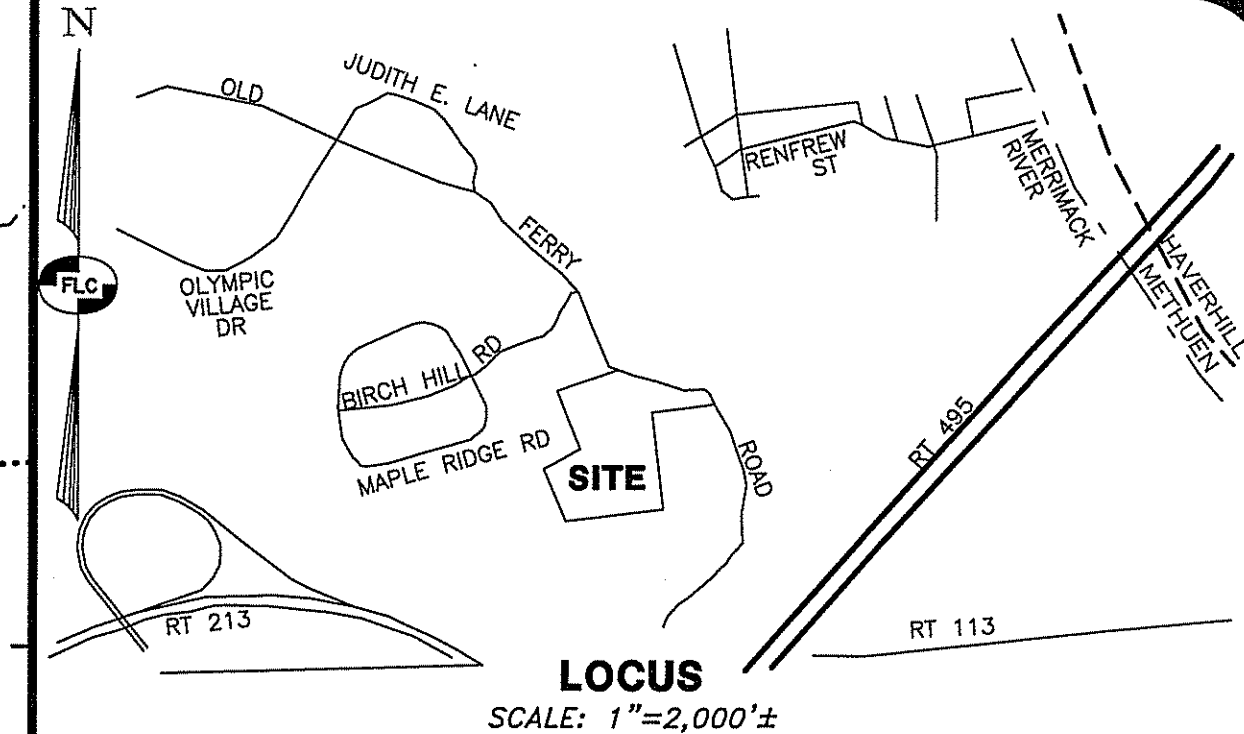
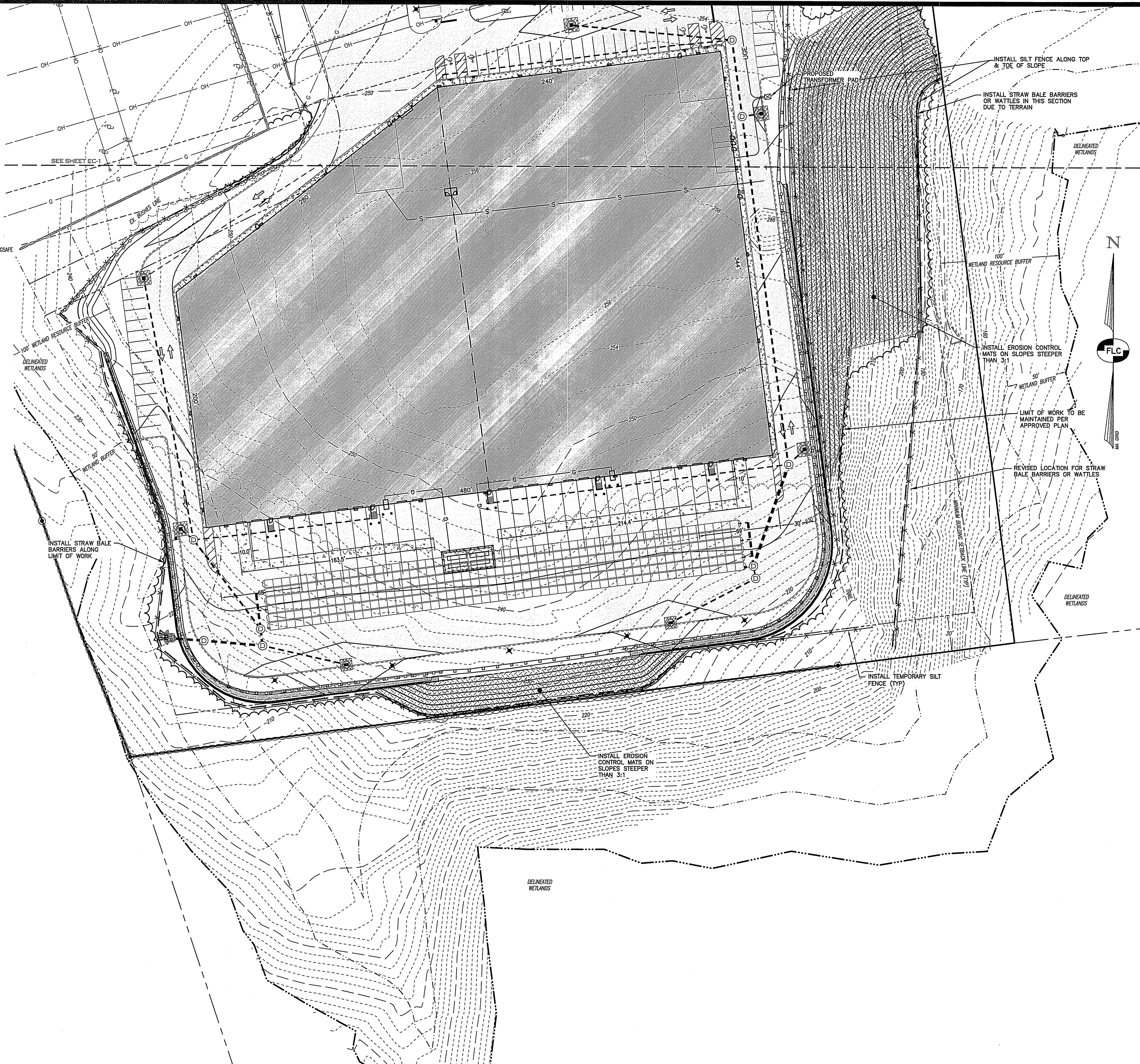
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1010-79-17

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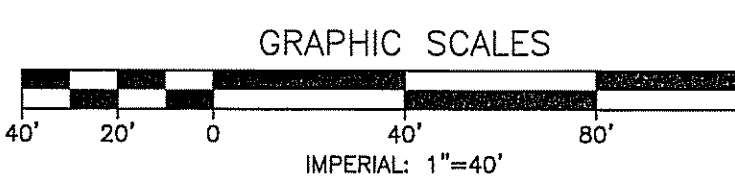
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7. ALL DISTURBED NON-PAVED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED THE RETAINING WALLS SHOWN SHALL BE DESIGNED BY OTHERS UNLESS OTHERWISE NOTED
8. ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION
9. EXISTING PAVEMENT SHALL BE SAW-OUT AS NECESSARY. THE CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
10. ALL POWER WORK SHALL CONFORM TO LIBERTY UTILITIES STANDARDS.
11. ALL TELEPHONE WORK SHALL CONFORM TO VERIZON SPECIFICATIONS.
12. CONTRACTOR SHALL OBTAIN STRUCTURAL DESIGN PLANS, DETAILS AND SPECIFICATIONS FOR ALL RETAINING WALLS AND SLOPES OVER 3:1 SHOWN ON THIS PLAN PRIOR TO CONSTRUCTION.

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E	1/27/23	REVISED PER CONSTRUCTION ADMINISTRATION	CLR	CEB
D	11/10/22	REV'D EROSION CONTROL ON EAST SIDE DUE TO EX. COND.	CEB	CEB
C	8/29/22	REVISED PER ENGINEERING PEER REVIEW	CLR	CEB
B	7/22/22	REVISED PER CONSERVATION COMMISSION REVIEW	CLR	CEB
A	6/29/22	REVISED PER ENGINEERING & PEER REVIEW	CLR	CEB
REV.	DATE	DESCRIPTION	C/O	DR

EROSION CONTROL PLAN SOUTH PIE HILL WAREHOUSING

TAX MAP 1010 LOT 79-17

(46 OLD FERRY ROAD)

METHUEN, MASSACHUSETTS

PREPARED FOR AND LAND OF,

TRIPLE G, LLC

59 BONANNO COURT, METHUEN, MA 01844

SCALE: 1" = 40'

APRIL 4, 2022

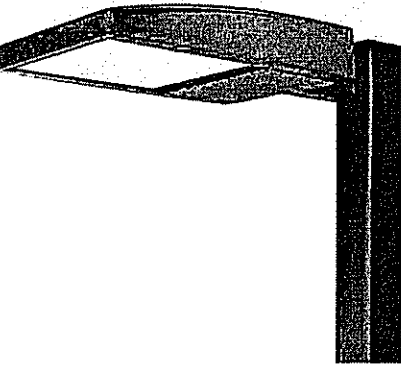
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McGraw-Edison
GLEON Galleon

Area / Site Luminaire



Product Specifications

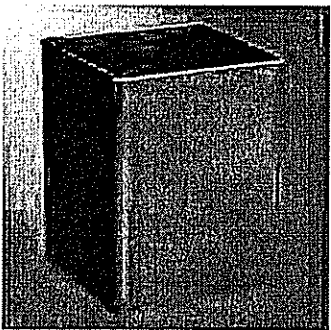
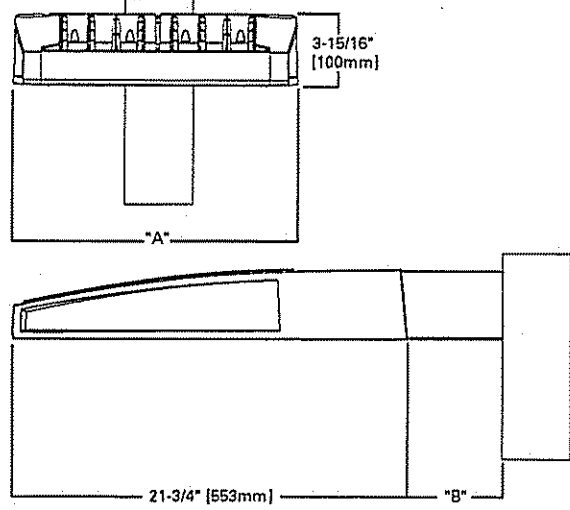
- Construction**
- Extruded aluminum driver enclosure
 - Heavy-wall, die-cast aluminum end caps
 - Die-cast aluminum heat sinks
 - Patent pending interlocking housing and heat sink
- Optics**
- Patented, high-efficiency injection-molded AcuLED Optics technology
 - 16 optical distributions
 - 3 shielding options including HSS, GRS and PFS
 - IDA Certified (3000K CCT and warmer only)
- Electrical**
- LED drivers are mounted to removable tray

- assembly for ease of maintenance**
- Standard with 0-10V dimming
 - Standard with Cooper Lighting Solutions proprietary circuit module designed to withstand 100V of transient line surge
 - Suitable for operation in -40°F to 40°C ambient environments. Optional 50°C high ambient (HA) configuration.
- Mounting**
- Standard extruded arm includes internal bolt guides and round pole adapter
 - Extended arms (EA and OMEA) may be required in 90° or 120° pole mount configurations, see arm mounting requirements table

- Finish**
- Super housing durable TGIC polyester powder coat paint 2.5 mil nominal thickness
 - Heat sink is powder coated black
 - RAL and custom color matches available
 - Coastal Construction (CC) option available
- Warranty**
- Five year warranty

AREA LIGHT
NOT TO SCALE

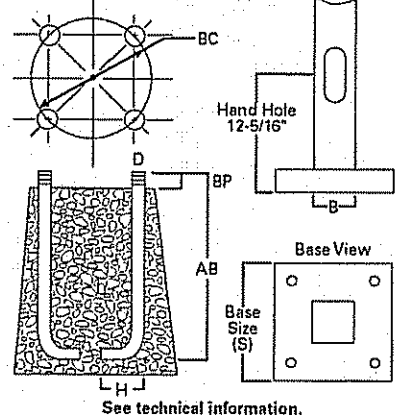
Dimensional Details



SSS SQUARE
STRAIGHT STEEL

- FEATURES**
- ASTM Grade steel base plate with ASTM A366 base cover
 - Hand hole assembly 3" x 5" on 5' and 6' pole; and 2" x 4" on 4" pole
 - 10'-39" mounting heights
 - Drilled or tenon (specify)

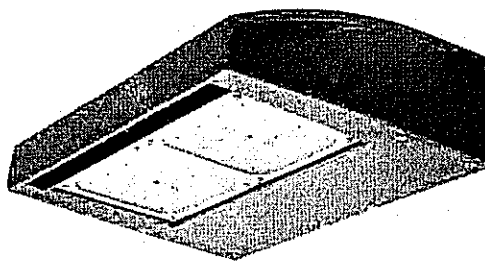
DIMENSIONS



STEEL POLE
NOT TO SCALE

McGraw-Edison
GWC Galleon Wall

Wall Mount Luminaire



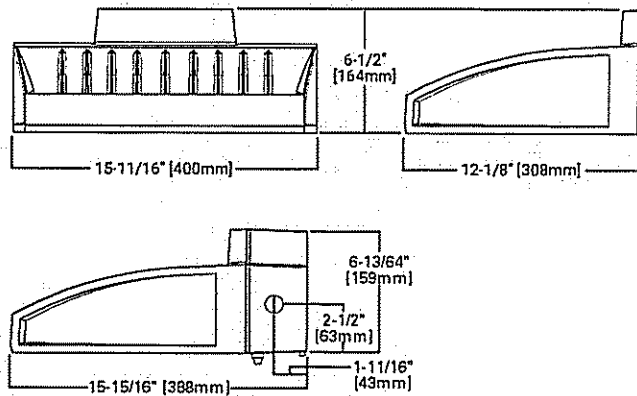
Product Specifications

- Construction**
- Driver enclosure thermally isolated from optics for optimal thermal performance
 - Die-cast aluminum heat sinks
 - IP66 rated housing
 - 1.50 vibration rated
- Optics**
- Patented, high-efficiency injection-molded AcuLED Optics technology
 - 13 optical distributions
 - IDA Certified (3000K CCT and warmer only)

- Electrical**
- LED driver assembly mounted for ease of maintenance
 - Standard with 0-10V dimming
 - Optional 100V or 200V surge module
 - Suitable for operation in -40°C to 40°C ambient environments. Optional 50°C high ambient (HA) configuration.
- Mounting**
- Gaskets and zinc plated rigid steel mounting attachment

- Finish**
- Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness
 - Heat sink is powder coated black
 - RAL and custom color matches available
 - Coastal Construction (CC) option available
- Warranty**
- Five-year warranty

Dimensional Details



WALL LIGHT
NOT TO SCALE

StatArea 1
PARKING SPACES IN FRONT OF BUILDING
Illuminance (Fc)
Average = 2.41
Maximum = 7.3
Minimum = 0.5
Avg/Min Ratio = 4.82
Max/Min Ratio = 14.60

StatArea 2
PARKING SPACES ALONG ROADWAY
Illuminance (Fc)
Average = 1.63
Maximum = 7.2
Minimum = 0.1
Avg/Min Ratio = 16.30
Max/Min Ratio = 72.00

StatArea 3
DOCK AREA
Illuminance (Fc)
Average = 2.10
Maximum = 21.8
Minimum = 0.3
Avg/Min Ratio = 7.00
Max/Min Ratio = 72.67

Luminaire Schedule

Symbol	Qty	Label	Arrangement	Description
	1	P5	Single	GLEON-SA2C-740-U-SWQ / SSS4A12SFN1 12' POLE MTD ON 2.5' BASE (14.5' AFG)
	7	P4	Single	GLEON-SA2C-740-U-T4FT / SSS4A12SFN1 12' POLE MTD ON 2.5' BASE (14.5' AFG)
	3	S3	Single	GLEON-SA2C-740-U-T3 / SSS4A17SFN1 17' POLE MOUNTED ON 2.5' BASE (19.5' AFG)
	5	S4	Single	GLEON-SA2C-740-U-T4FT / SSS4A17SFN1 17' POLE MOUNTED ON 2.5' BASE (19.5' AFG)
	11	W3	Single	GWC-SA1A-740-U-SL3 / WALL MTD 8' AFG
	9	W4	Single	GWC-SA2B-740-U-T4FT / WALL MTD 14' AFG
	5	W5	Single	GWC-SA1A-740-U-SL4 / WALL MTD 8' AFG

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LIGHTING PLAN NORTH
PIE HILL
WAREHOUSING

TAX MAP 1010 LOT 79-17
(46 OLD FERRY ROAD)

METHUEN, MASSACHUSETTS

PREPARED FOR AND LAND OF,

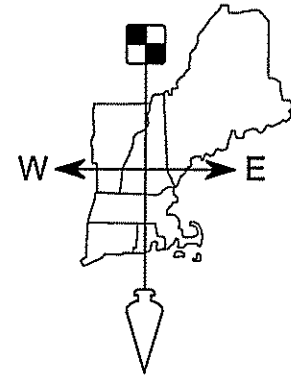
TRIPLE G, LLC

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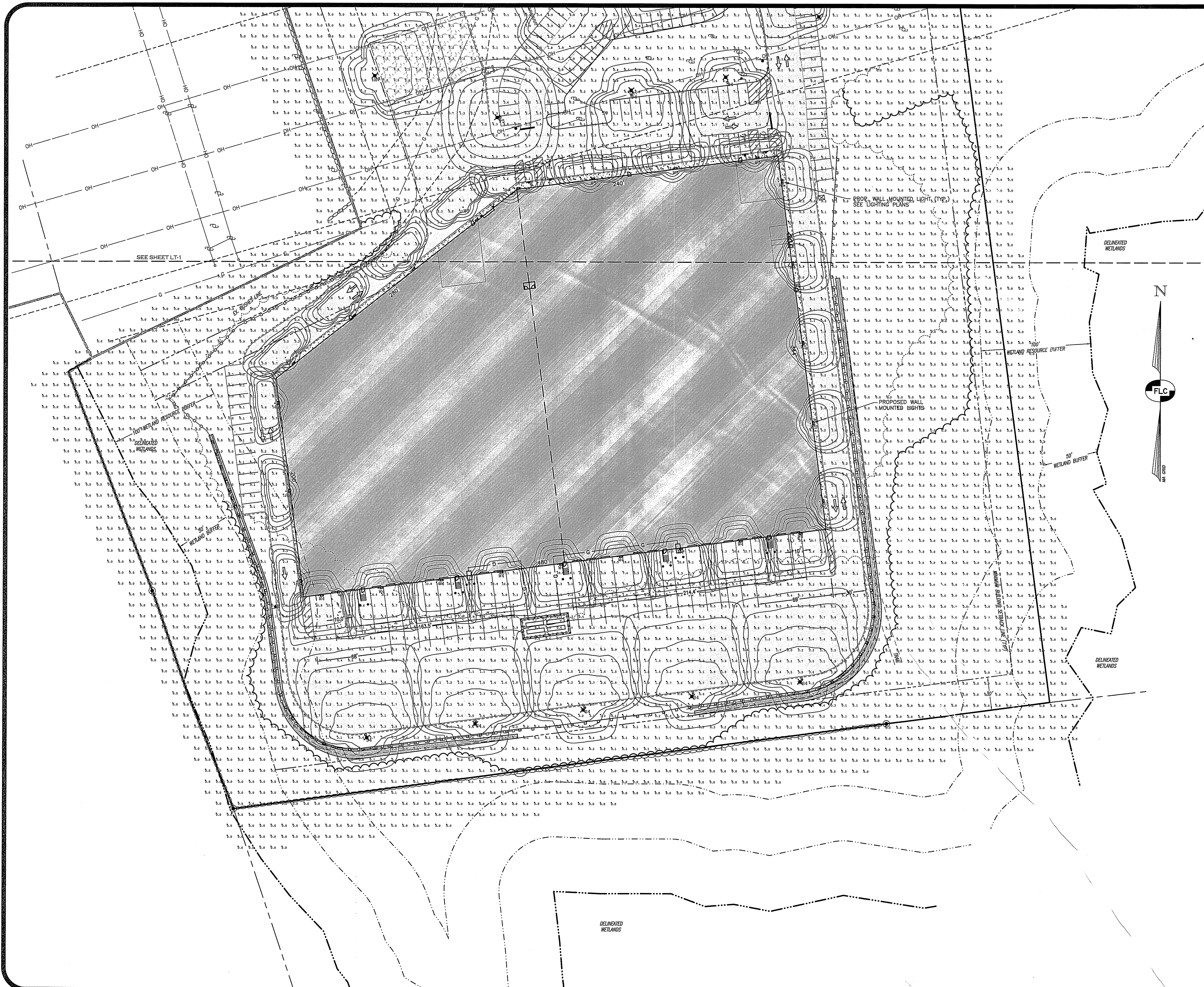
APRIL 4, 2022

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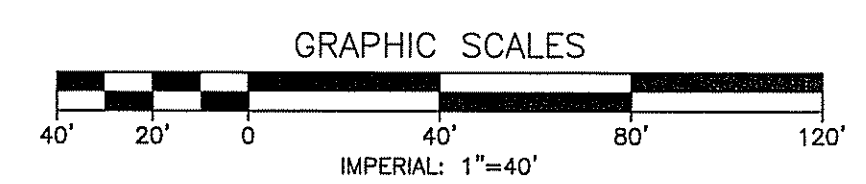
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SEE SHEET LT-1 FOR LIGHTING DETAILS
AND LUMINAIRE SCHEDULE.

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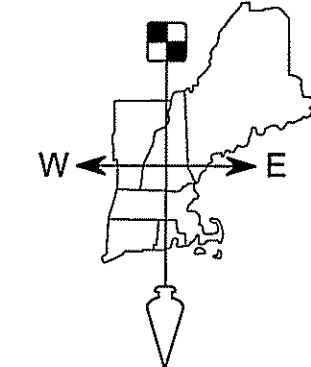


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LIGHTING PLAN SOUTH
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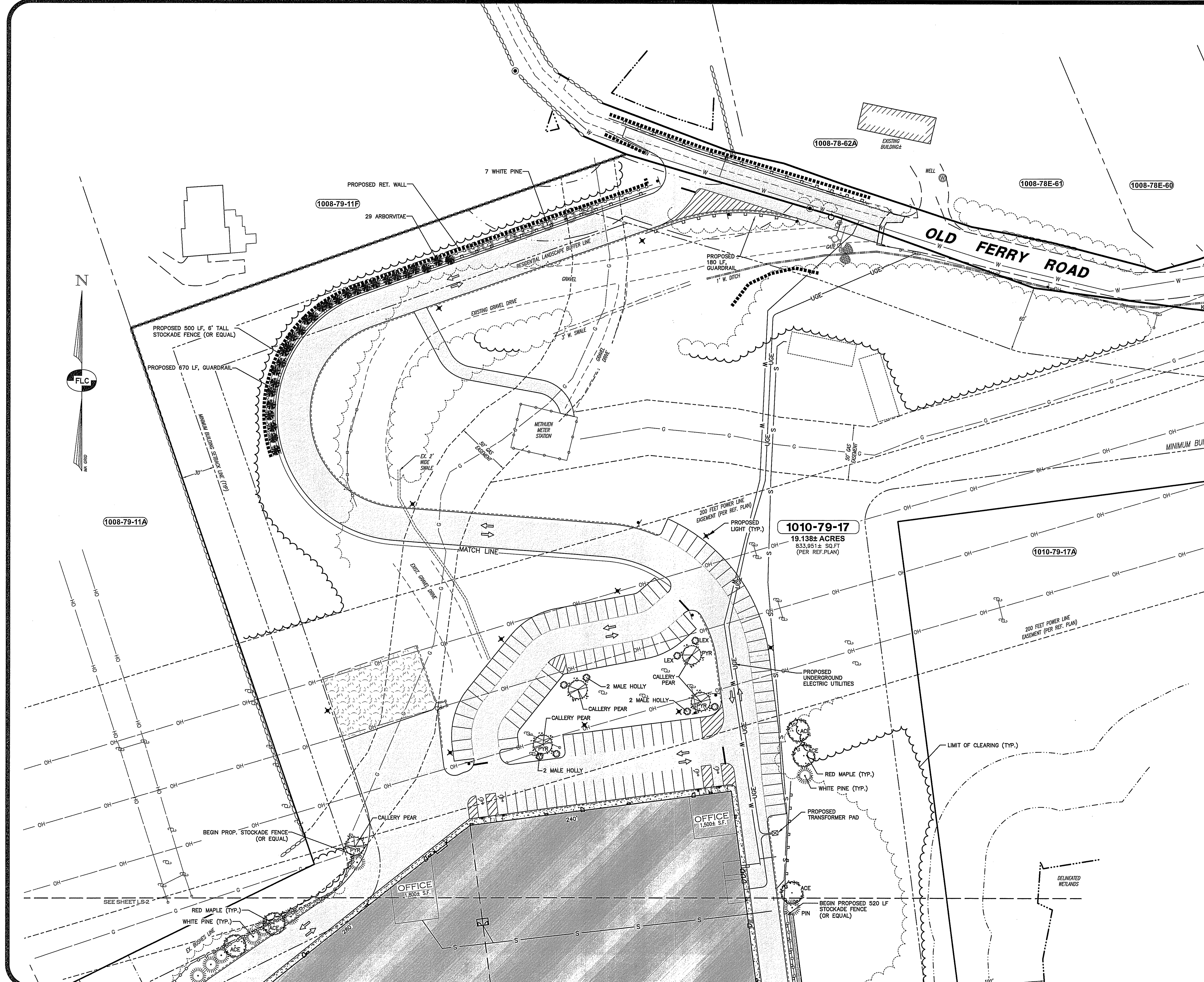
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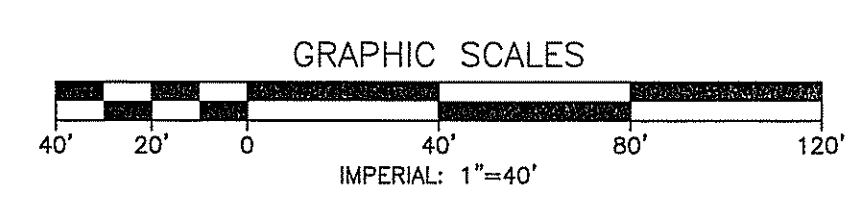


LANDSCAPING LEGEND:

PLANT SYMBOLS	PLANT LIST	QTY.
	PIN PINUS STROBUS (WHITE PINE) (OR EQUAL)	(20) 5'-6"
	ACE ACER PLATANOIDS (CRIMSON KING MAPLE) (OR EQUAL)	(6) 2.5'-3" CAL.
	PYR PYRUS CALLERYANA (CALLERY PEAR) (OR EQUAL)	(5) 2.5'-3"
	THU THUJA O. NIGRA (DARK AMERICAN ARBORVITAE) (OR EQUAL)	(28) 7'-8"
	ILEX ILEX MESSEURVAE 'BLUE PRINCE' (MALE HOLLY) (OR EQUAL)	(8) 2.5'-3"

- LANDSCAPING NOTES:
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG-SAFE AND FOR VERIFICATION OF ALL UTILITIES AND SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS PRIOR TO COMMENCING.
 - EXISTING TREES TO REMAIN SHALL BE PRESERVED AND PROTECTED DURING CONSTRUCTION.
 - UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED WITHIN THE IMMEDIATE AREA NO PLANT MATERIAL SHALL BE INSTALLED.
 - UNLESS OTHERWISE NOTED OR APPROVED, ALL TREES MUST BE BALLED AND BURLAPPED.
 - ALL PLANT MATERIALS INSTALLED SHALL MEET OR EXCEED THE SPECIFICATIONS OF "THE AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSEYMEN.
 - ANY PROPOSED PLANT MATERIAL SUBSTITUTIONS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE.
 - ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE INSTALLER FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE.
 - IN AREAS OF STONE MULCH LAY 6 MIL SHEETS OF "VISQUEEN" TYPE POLYETHYLENE ON COMPACTED SUBGRADE BEFORE PLACING STONE, MINIMUM 6" OVERLAP. PERFORATE SHEETING IN PLANTING BEDS BEFORE PLACING STONE.
 - UNLESS OTHERWISE NOTED LOAM AND SEED ALL DISTURBED AREAS WITH A MINIMUM 4" OF SUITABLE LOAM. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET. SEE SITE PLAN.
 - WHERE APPLICABLE, THE CONTRACTOR SHALL HAVE ALL FALL TRANSPLANTING HAZARD PLANTS DUG IN THE SPRING AND STORED FOR FALL PLANTING.
 - PLANTS SHALL BE INSTALLED WITHIN ONE YEAR OF COMMENCEMENT OF CONSTRUCTION
 - ALL LANDSCAPING SHALL BE LOCATED AND MAINTAINED SO AS NOT TO IMPACT THE LINES OF SIGHT AT THE ENTRANCE AND INTERNAL INTERSECTIONS.
 - ALL LANDSCAPED AREAS WILL BE MAINTAINED TO HAVE A SUFFICIENT AMOUNT OF WATER TO MAINTAIN VIABILITY EITHER BY IRRIGATION OR BY OTHER MEANS.
 - PROPOSED PLANTINGS SHALL NOT CONFLICT WITH SNOW STORAGE AREAS, LIGHT FIXTURES OR UNDERGROUND UTILITIES.
 - A 15' LANDSCAPE BUFFER (MINIMUM) SHALL REMAIN ADJACENT TO THE RIGHT OF WAY LINE AND A 60' BUFFER SHALL REMAIN ALONG PROPERTY LINES SHARED WITH RESIDENTIAL LOTS.
 - LANDSCAPING CALCULATIONS:
INTERIOR PARKING AREA = 60,479 SF
REQUIRED INTERIOR LANDSCAPING = 5% X 60,479 SF = 3,024 SF
PROPOSED INTERIOR LANDSCAPING = 11,480 SF
REQUIRED TREES = 1 TREE / 2,000 SF OF PARKING X 60,479 = 30.2 TREES
PROPOSED PARKING AREA TREES = 31 TREES
 - A LANDSCAPED SCREEN WILL BE PLANTED WHERE THE INDUSTRIAL ZONED PARCEL ABUTS RESIDENTIAL PROPERTIES. THE VERTICAL SCREEN WILL NOT BE LESS THAN 4' IN WIDTH AND 5' HIGH AT THE TIME OF PLANTING. PLANTINGS WILL BE SPACED NO MORE THAN 10' ON CENTER AND CONTAIN A MINIMUM OF 50% EVERGREENS.

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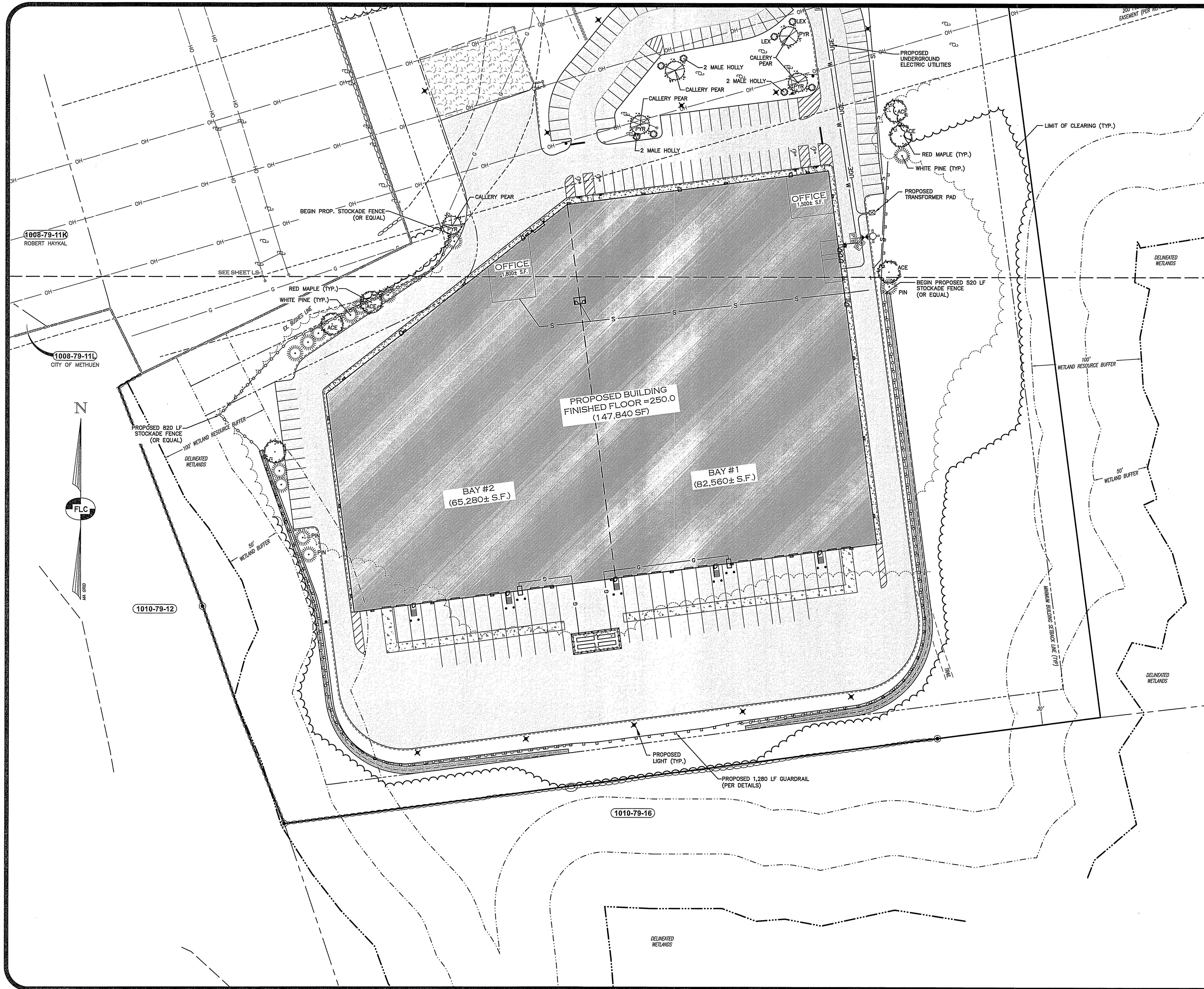
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A	6/1/22	REVISED PER CITY COMMENTS	CLR	CEB
REV.	DATE	DESCRIPTION	C/O	DR CK

LANDSCAPING PLAN NORTH
PIE HILL
WAREHOUSING
TAX MAP 1010 LOT 79-17
(46 OLD FERRY ROAD)
METHUEN, MASSACHUSETTS
PREPARED FOR AND LAND OF:
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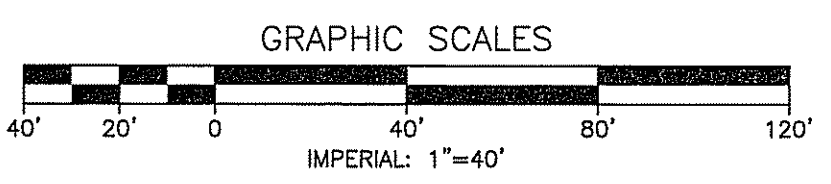
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PLANT SYMBOLS		PLANT LIST	QTY.
	PIN	PINUS STROBUS (WHITE PINE) (OR EQUAL)	(44) 5'-6"
	ACE	ACER PLATANOIDES (CRIMSON KING MAPLE) (OR EQUAL)	(9) 2.5'-3" CAL.
	PYR	PYRUS CALLERYANA (CALLERY PEAR) (OR EQUAL)	(4) 2.5'-3"
	JCO	JUNIPERUS CHINENSIS (GREY OWL JUNIPER) (OR EQUAL)	(12) 3 GAL.
	LEX	ILEX MESERVEAE 'BLUE PRINCE' (MALE HOLLY) (OR EQUAL)	(17) 2.5'-3"
	CCR	CORNUS SANGUINEA (WINTER FLAME DOGWOOD) (OR EQUAL)	(4) 3 GAL. 2'-3"

- LANDSCAPING NOTES:**
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG-SAFE AND FOR VERIFICATION OF ALL UTILITIES AND SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS PRIOR TO COMMENCING.
 - EXISTING TREES TO REMAIN SHALL BE PRESERVED AND PROTECTED DURING CONSTRUCTION.
 - UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED WITHIN THE IMMEDIATE AREA NO PLANT MATERIAL SHALL BE INSTALLED.
 - UNLESS OTHERWISE NOTED OR APPROVED, ALL TREES MUST BE BALLED AND BURLAPPED.
 - ALL PLANT MATERIALS INSTALLED SHALL MEET OR EXCEED THE SPECIFICATIONS OF "THE AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
 - ANY PROPOSED PLANT MATERIAL SUBSTITUTIONS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE.
 - ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE INSTALLER FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE.
 - IN AREAS OF STONE MULCH LAY 6 MIL SHEETS OF "MSQUEEN" TYPE POLYETHYLENE ON COMPACTED SUBGRADE BEFORE PLACING STONE. MINIMUM 6" OVERLAP, PERFORATE SHEETING IN PLANTING BEDS BEFORE PLACING STONE.
 - UNLESS OTHERWISE NOTED LOAM AND SEED ALL DISTURBED AREAS WITH A MINIMUM 4" OF SUITABLE LOAM. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET. SEE SITE PLAN.
 - WHERE APPLICABLE, THE CONTRACTOR SHALL HAVE ALL FALL TRANSLANTING HAZARD PLANTS DUG IN THE SPRING AND STORED FOR FALL PLANTING.
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 - A 15' LANDSCAPE BUFFER (MINIMUM) SHALL REMAIN ADJACENT TO THE RIGHT OF WAY LINE AND A 60' BUFFER SHALL REMAIN ALONG PROPERTY LINES SHARED WITH RESIDENTIAL LOTS.
 - LANDSCAPING CALCULATIONS:
INTERIOR PARKING AREA = 62,334 SF
REQUIRED INTERIOR LANDSCAPING = 5% X 62,334 SF = 3,116.7 SF
PROPOSED INTERIOR LANDSCAPING = 7,500 SF
REQUIRED TREES = 1 TREE / 2,000 SF OF PARKING X 62,334 = 31.2 TREES
PROPOSED PARKING AREA TREES = 32 TREES
THERE ARE NO PROPOSED RECREATION AREAS AT THIS TIME.
 - A LANDSCAPED SCREEN WILL BE PLANTED WHERE THE INDUSTRIAL ZONED PARCEL ABUTS RESIDENTIAL PROPERTIES. THE VERTICAL SCREEN WILL NOT BE LESS THAN 4' IN WIDTH AND 5' HIGH AT THE TIME OF PLANTING. PLANTINGS WILL BE SPACED NO MORE THAN 10' ON CENTER AND CONTAIN A MINIMUM OF 50% EVERGREENS.

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LANDSCAPING PLAN SOUTH

**PIE HILL
WAREHOUSING**

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(46 OLD FERRY ROAD)
METHUEN, MASSACHUSETTS**

**PREPARED FOR AND LAND OF:
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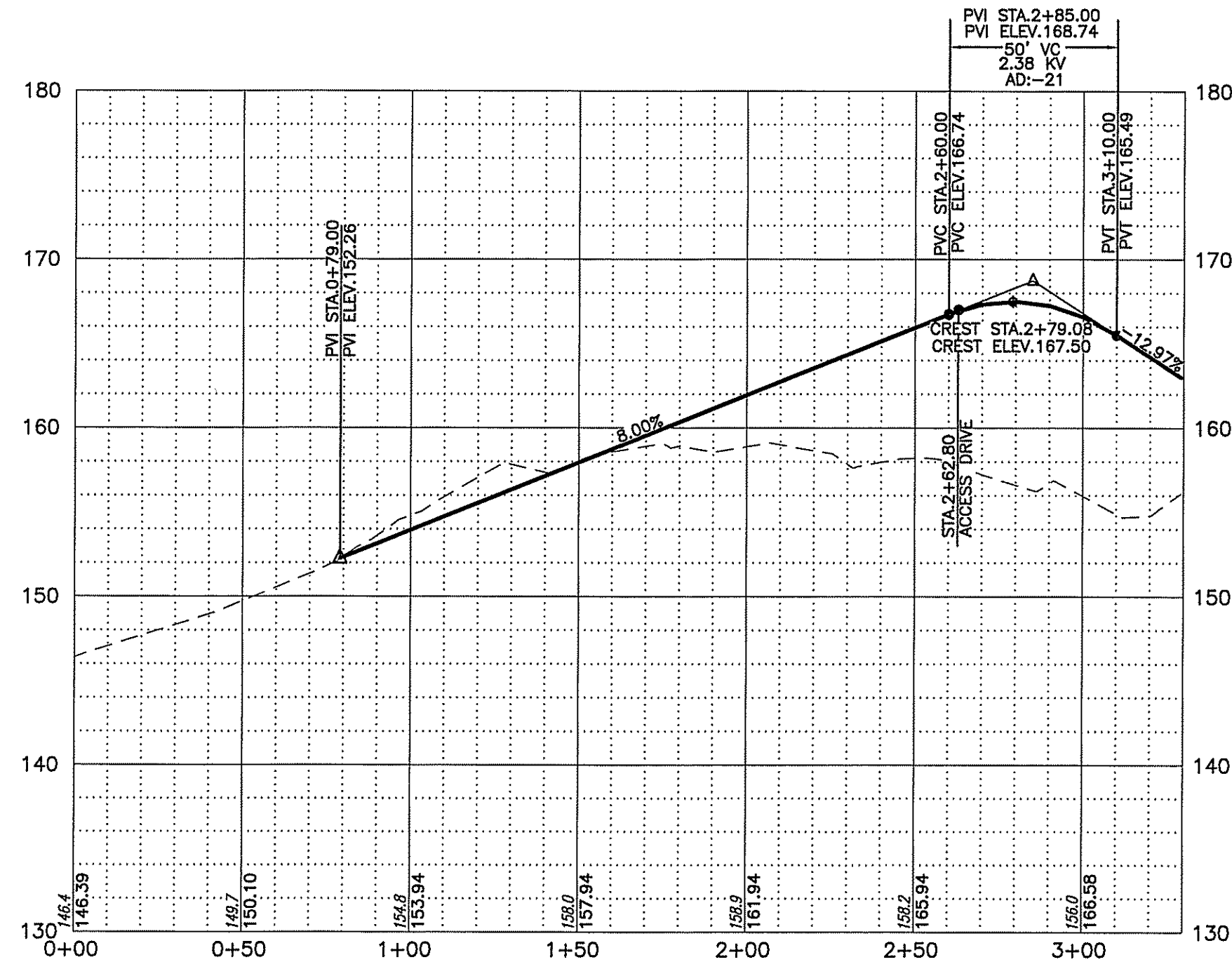
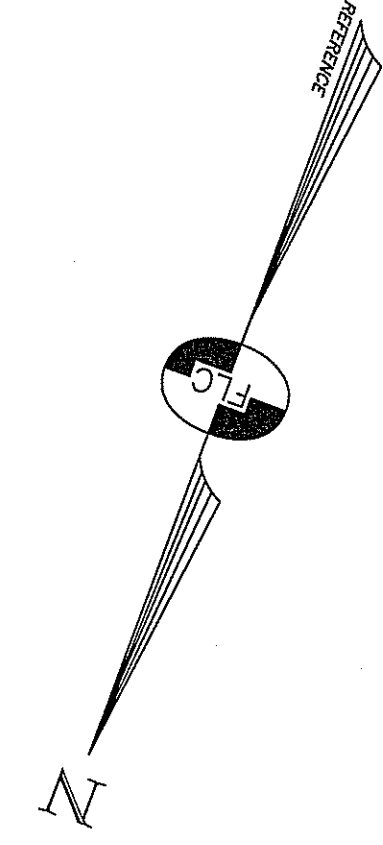
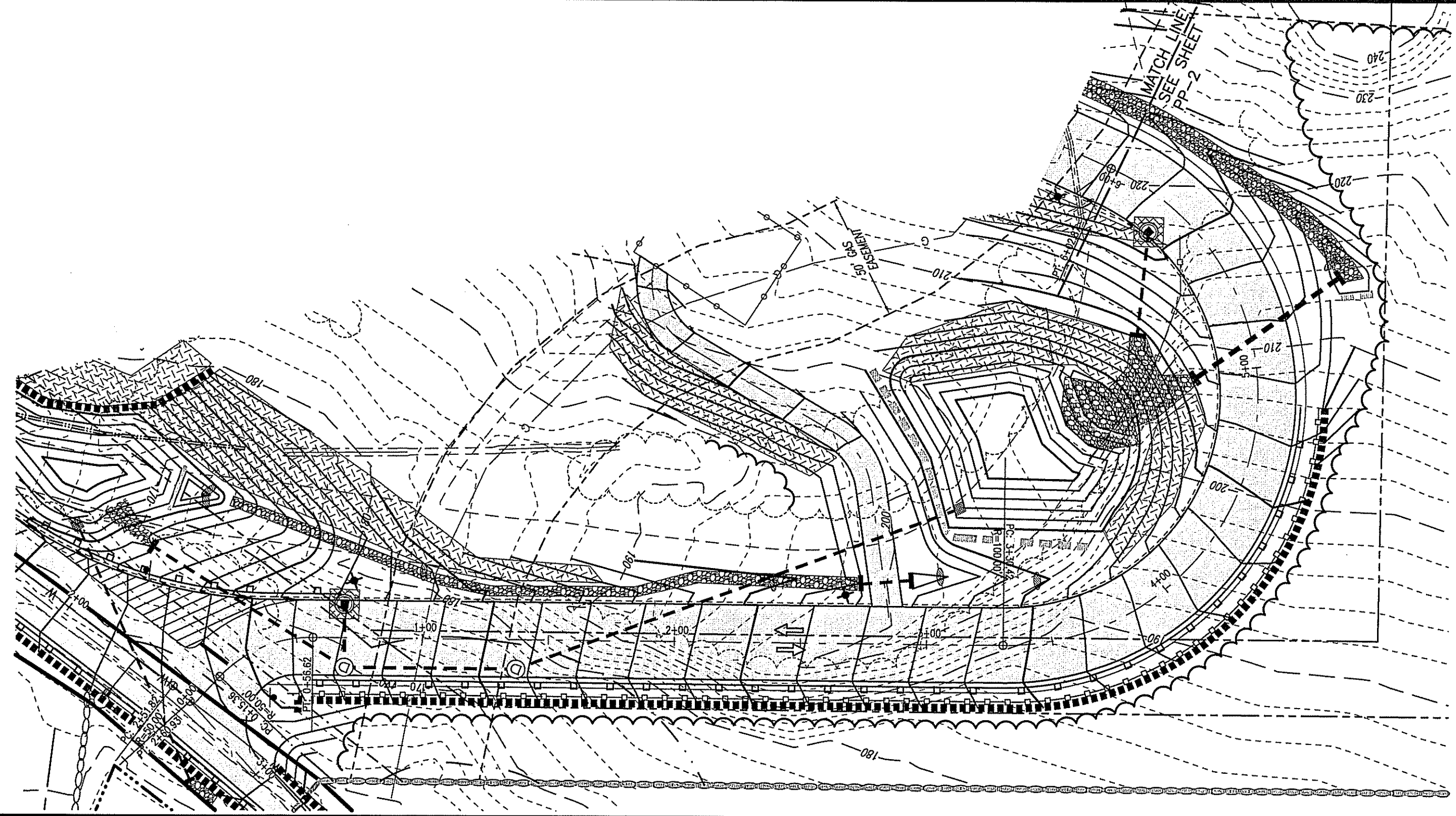
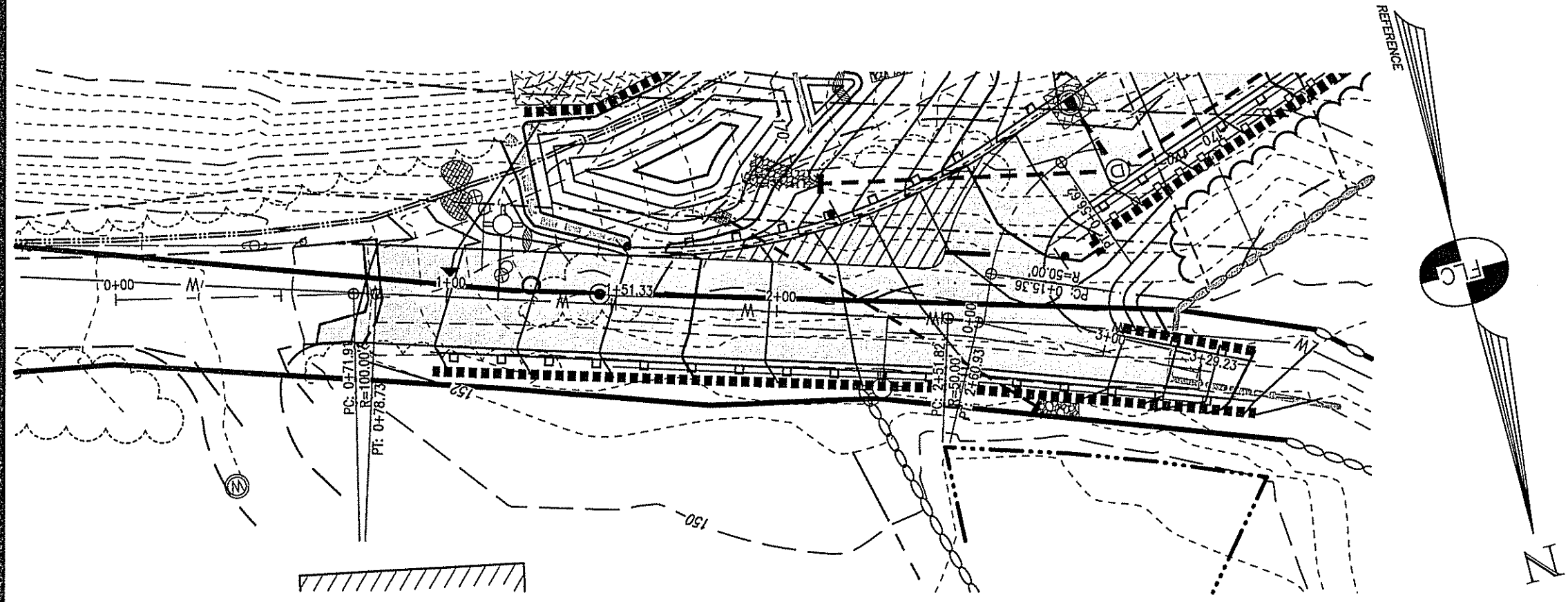
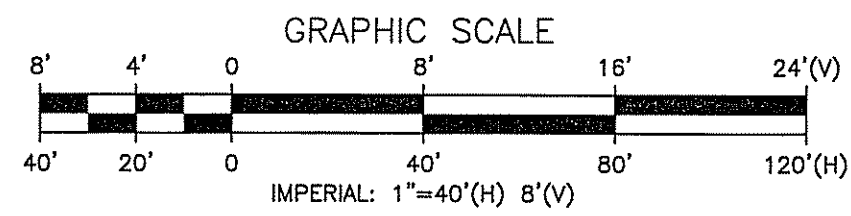
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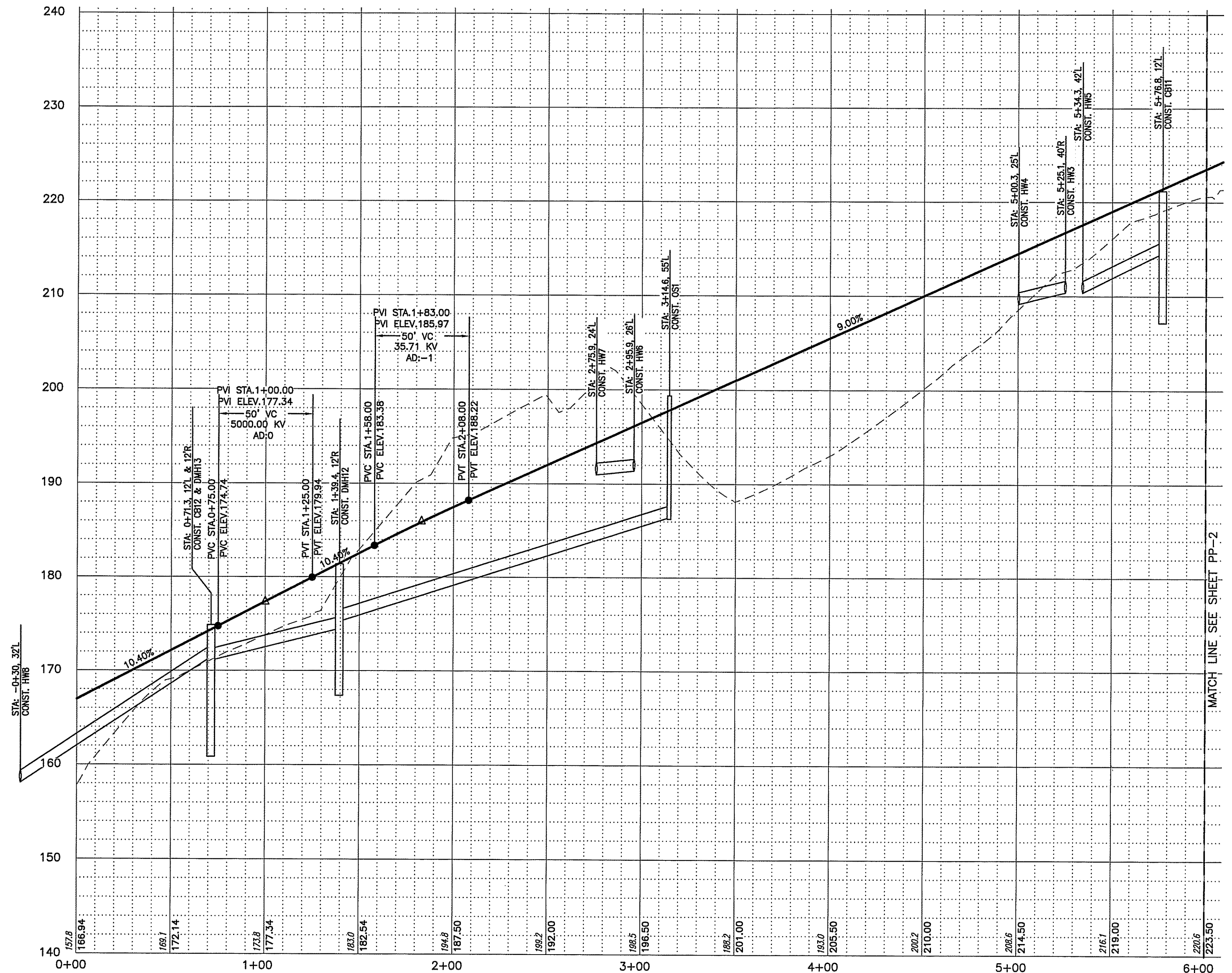
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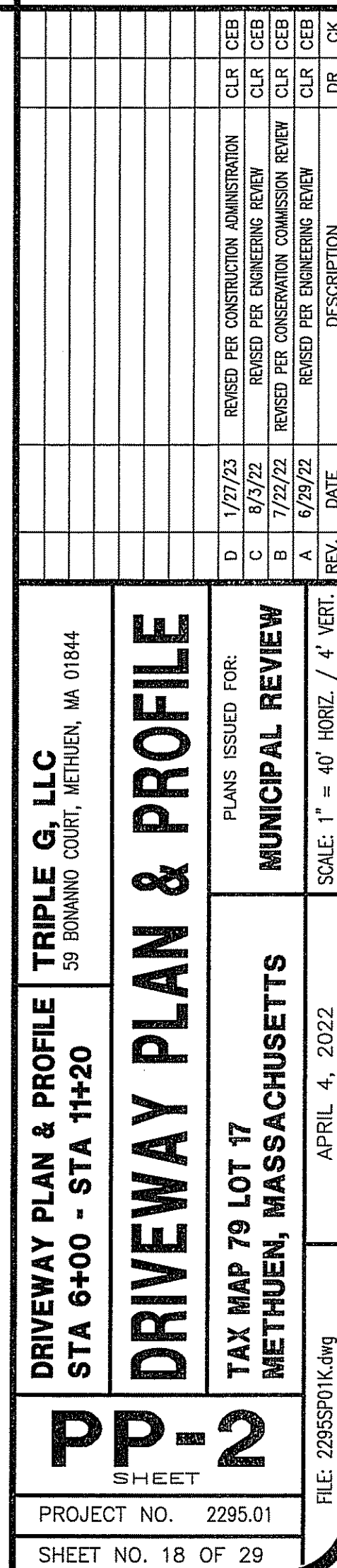
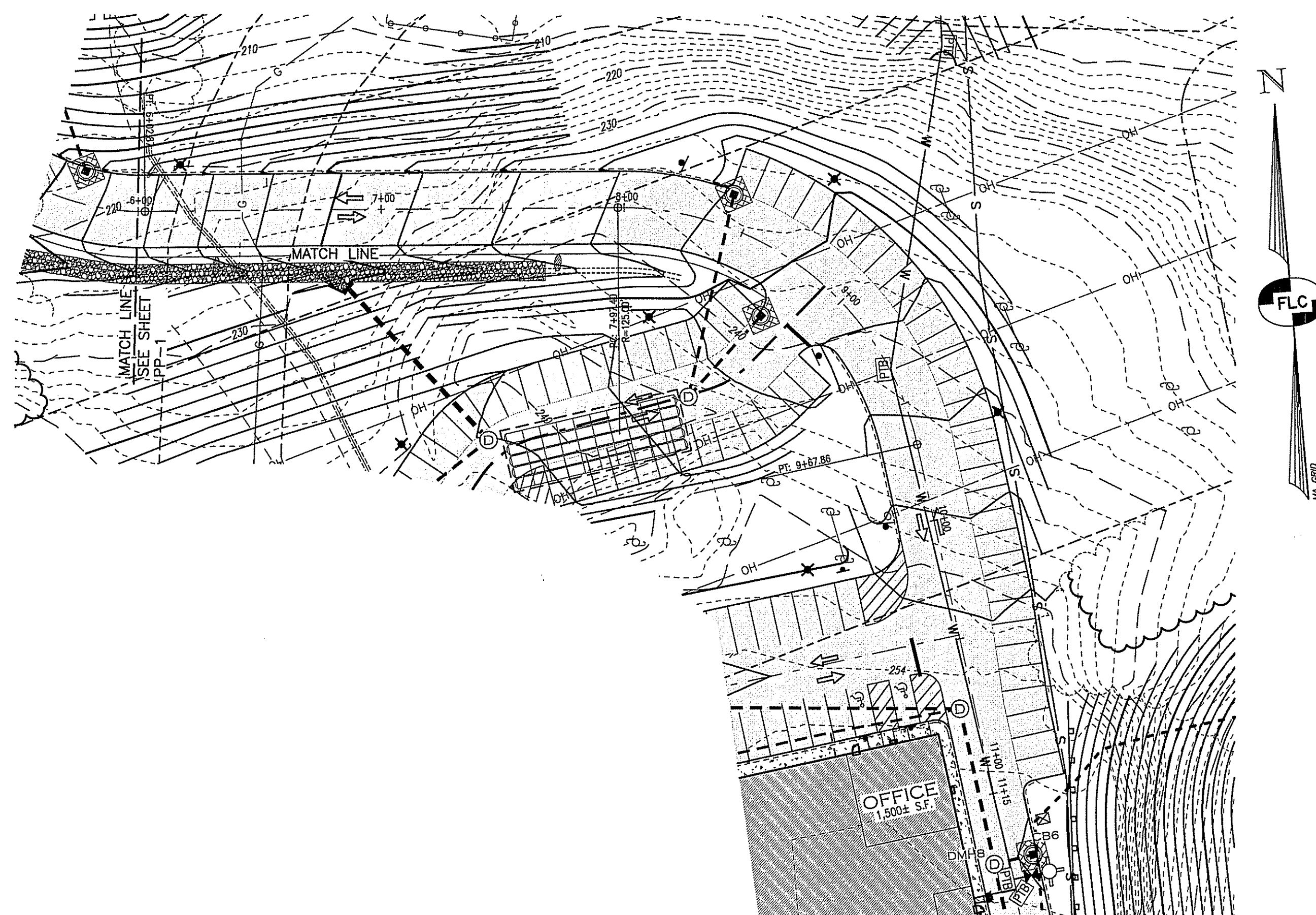


OLD FERRY ROAD EXTENSION



ACCESS DRIVE

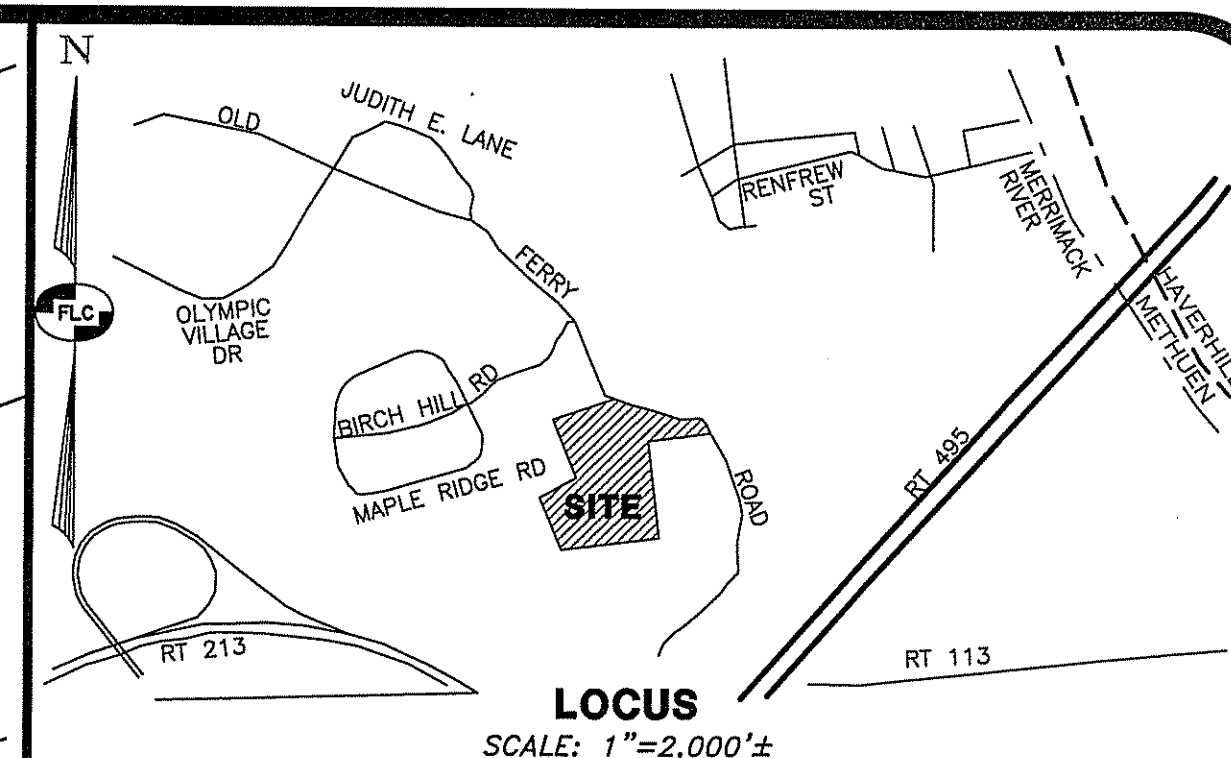
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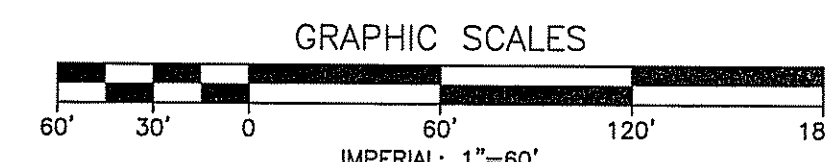
LEGEND:

- EXISTING FEATURES**
- RIGHT-OF-WAY LINE
 - BOUNDARY LINE
 - ABUTTING LOT LINE
 - BUILDING SETBACK LINE
 - EXISTING EASEMENT LINE
 - EDGE OF PAVED ROAD
 - EDGE OF GRAVEL ROAD
 - STONE WALL
 - EDGE OF TREE LINE
 - WETLANDS
 - WETLANDS BUFFER LINE
 - 10' CONTOUR INTERVAL
 - 2' CONTOUR INTERVAL
 - CHAIN-LINK FENCE
 - STOCKADE FENCE
 - CULVERT
 - OVERHEAD UTILITY LINE
 - UNDERGROUND ELECTRIC DISSAFE
 - UNDERGROUND GAS LINE
 - WATER LINE

- 1010-79-17 TAX MAP & LOT NUMBER**
- GRANITE BOUND FOUND
 - DRILL HOLE FOUND
 - IRON PIN FOUND
 - UTILITY POLE, GUY & LIGHT
 - CATCH BASIN (SQUARE)
 - WATER HYDRANT
 - WATER VALVE
 - WATER SHUT-OFF
 - WELL
 - SIGN WITH TWO POSTS
 - RIP RAP
 - ROCK
 - BOLLARD 8" DIA 3' HEIGHT



- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE TURNING TEMPLATE FOR A WB-62 TRUCK AND TRAILER TRAVERSING THE SITE.



REV.	DATE	DESCRIPTION	C/O	DR	CK
A	7/22/22	REVISED PER CONSERVATION COMMISSION REVIEW	CLR	CEB	

TRUCK TURNING EXHIBIT
PIE HILL
WAREHOUSING
TAX MAP 1010 LOT 79-17
(46 OLD FERRY ROAD)
METHUEN, MASSACHUSETTS
PREPARED FOR:
TRIPLE G, LLC
59 BONANNO COURT, METHUEN, MA 01844

SCALE: 1" = 60' APRIL 4, 2022

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

FIELDSTONE
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

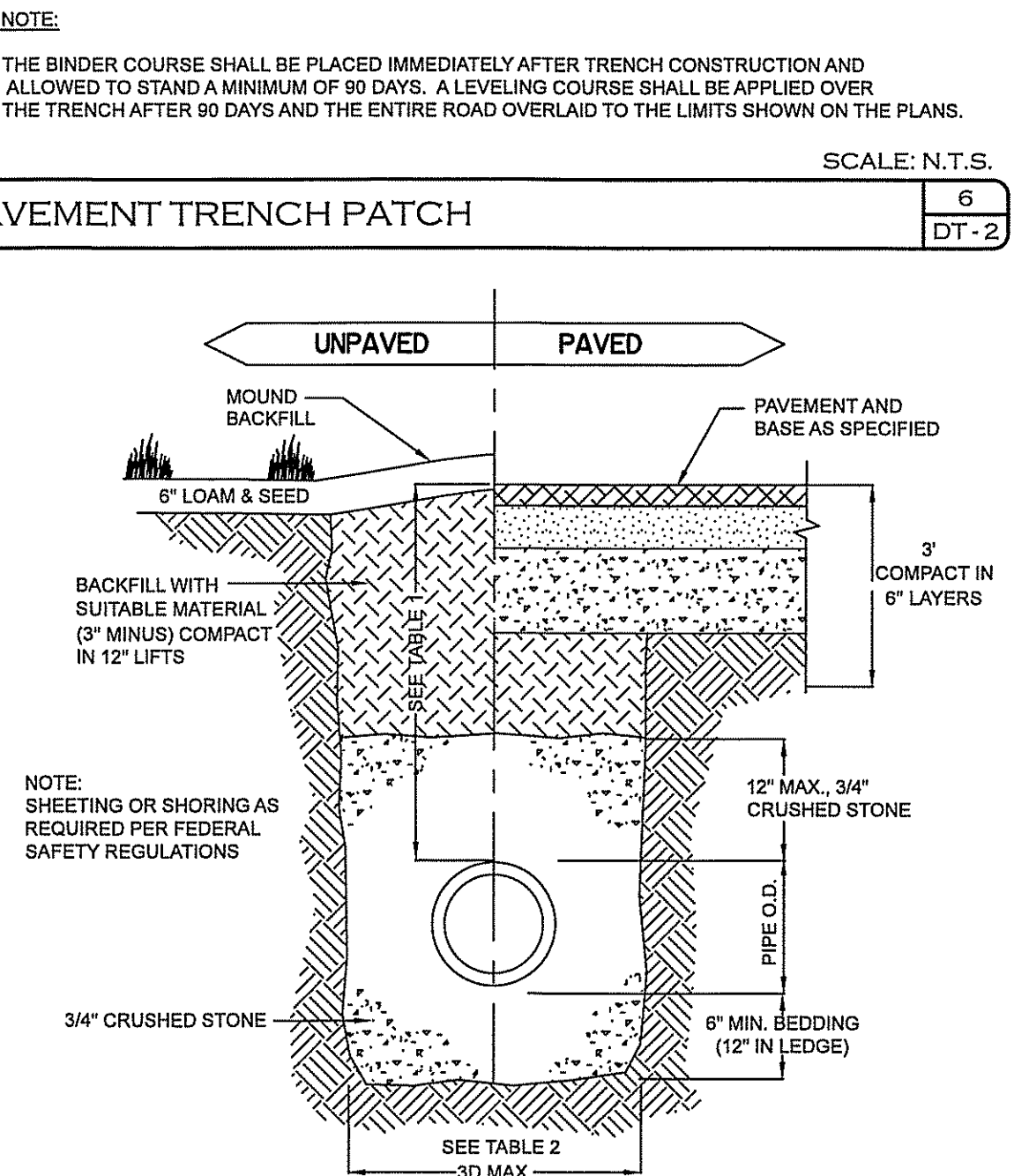
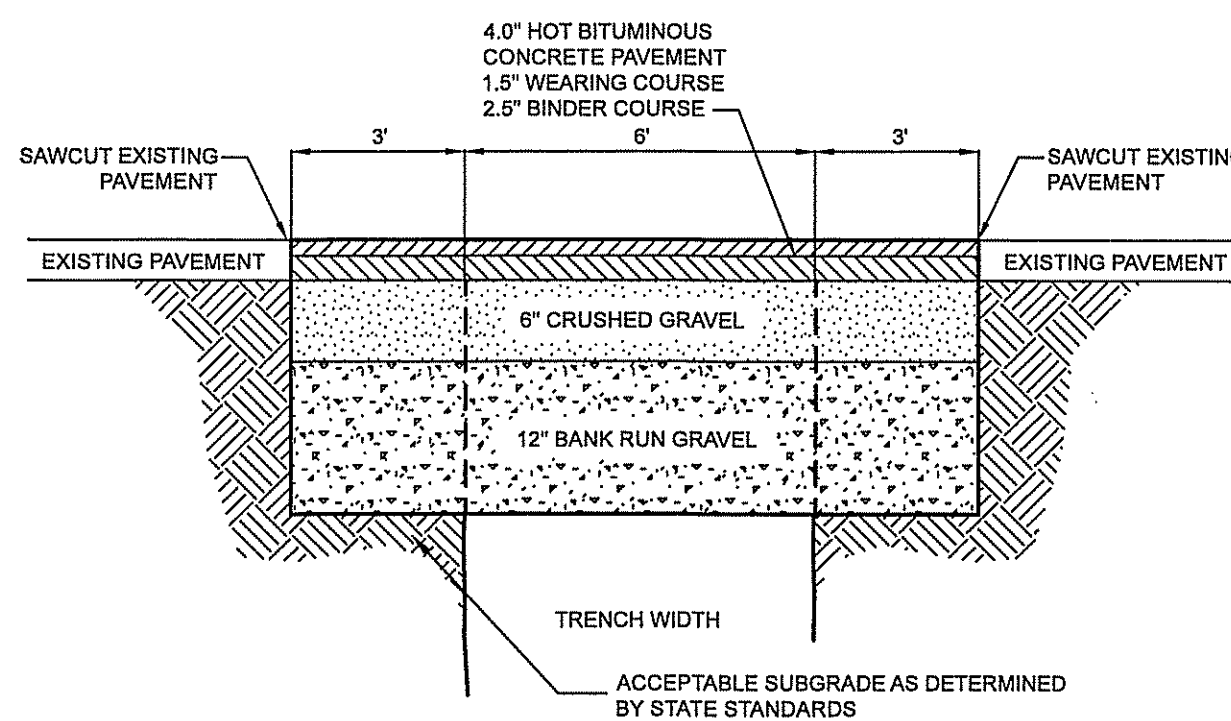
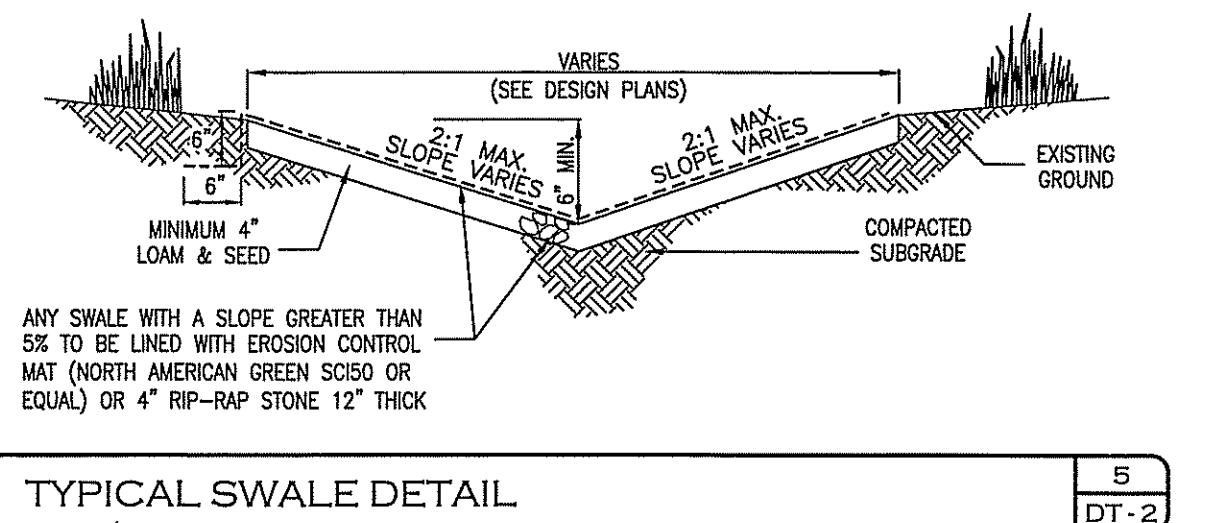
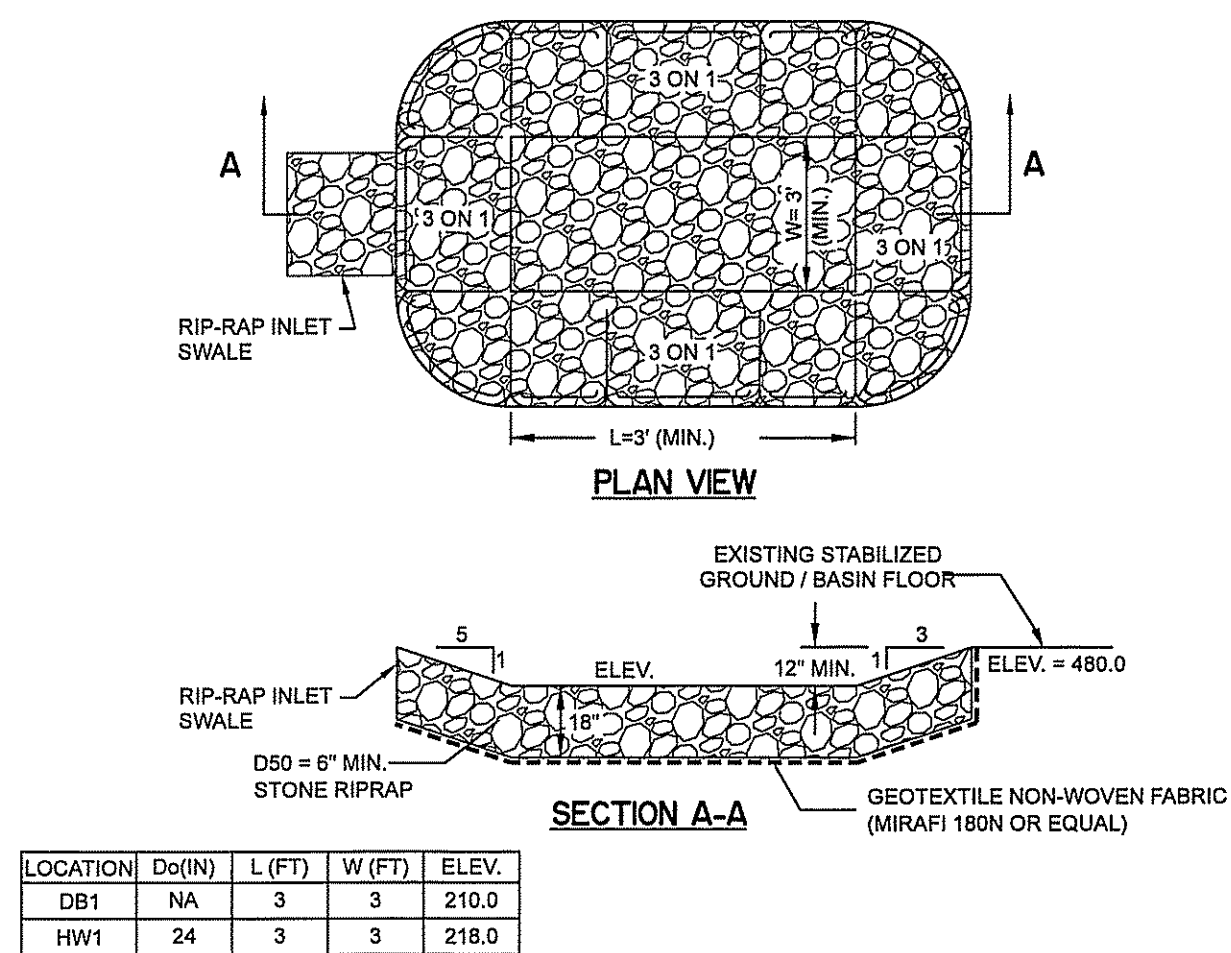
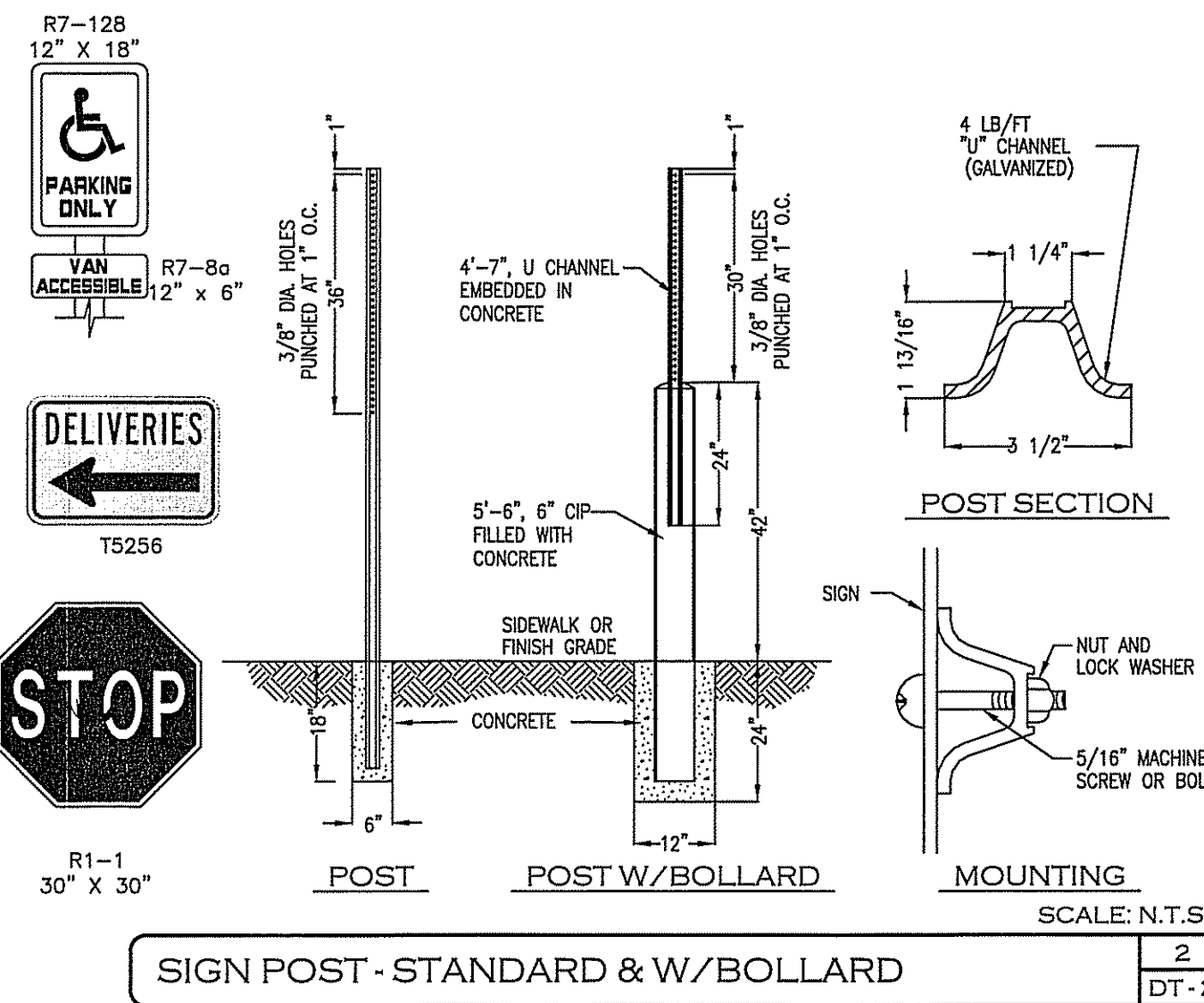
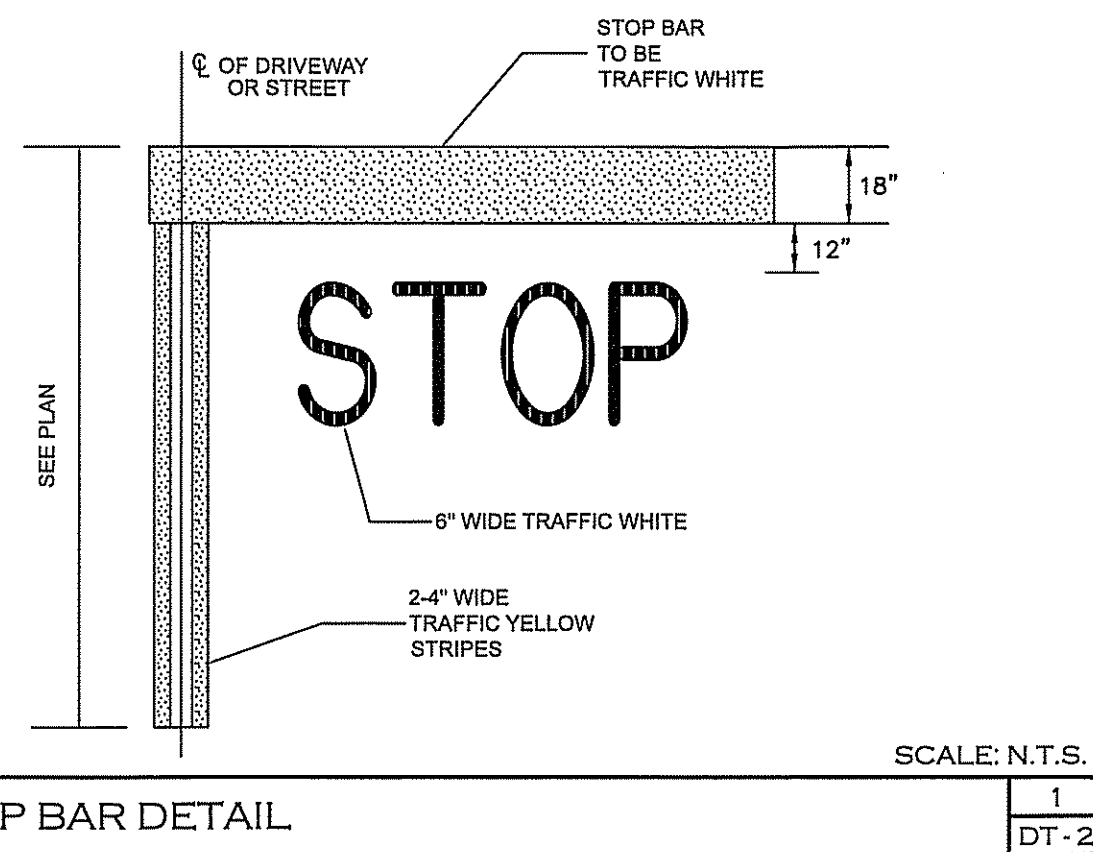
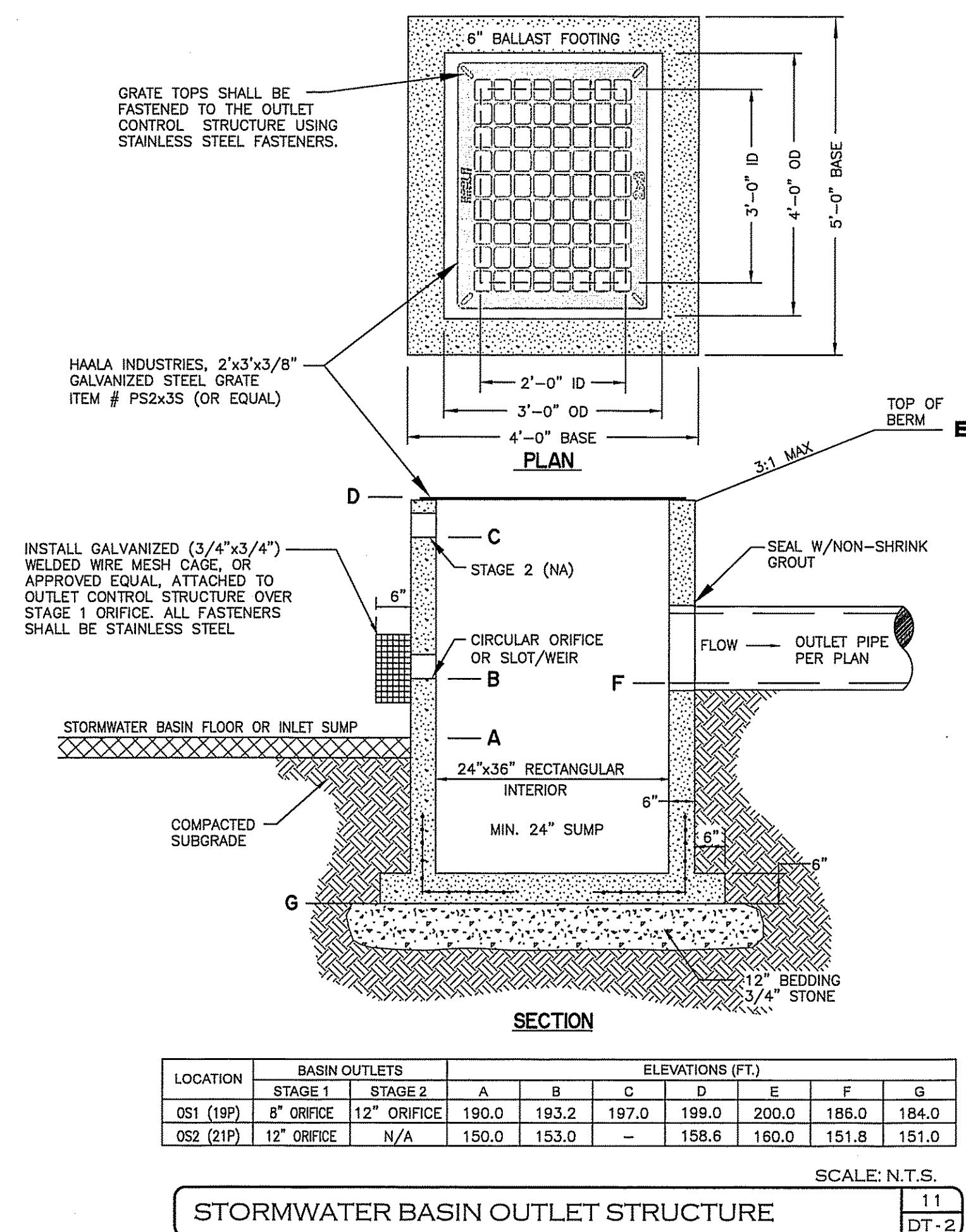
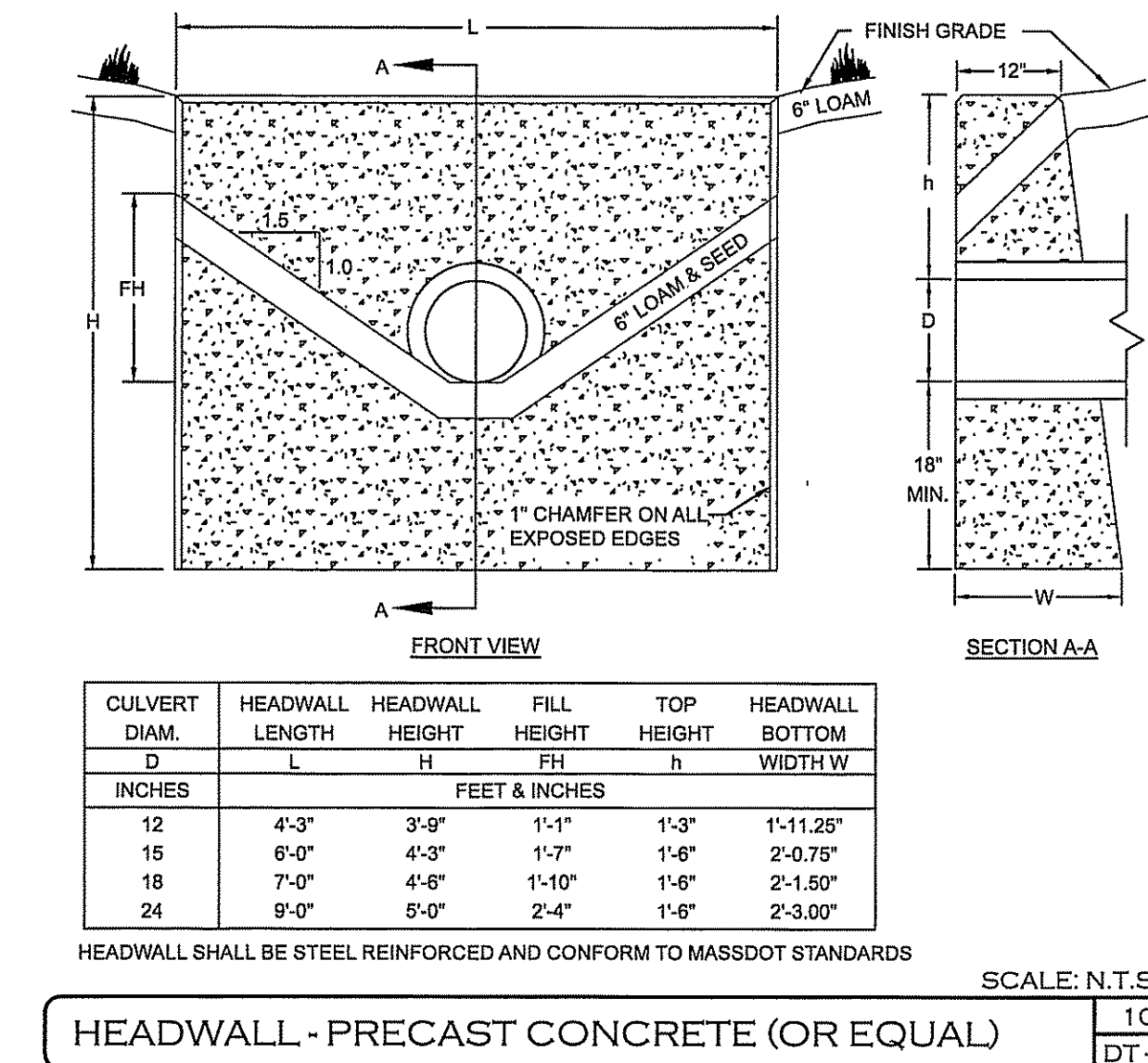
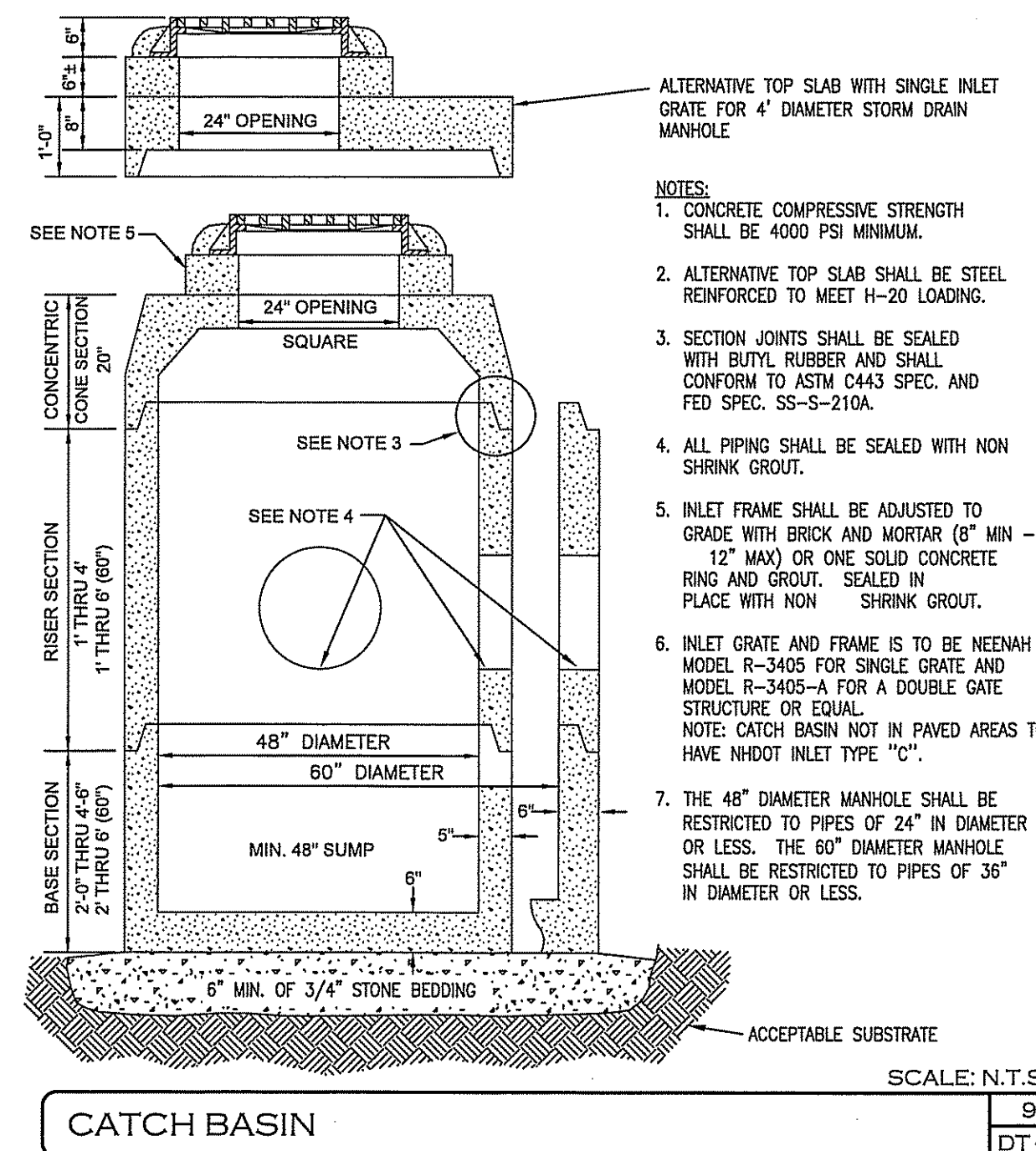
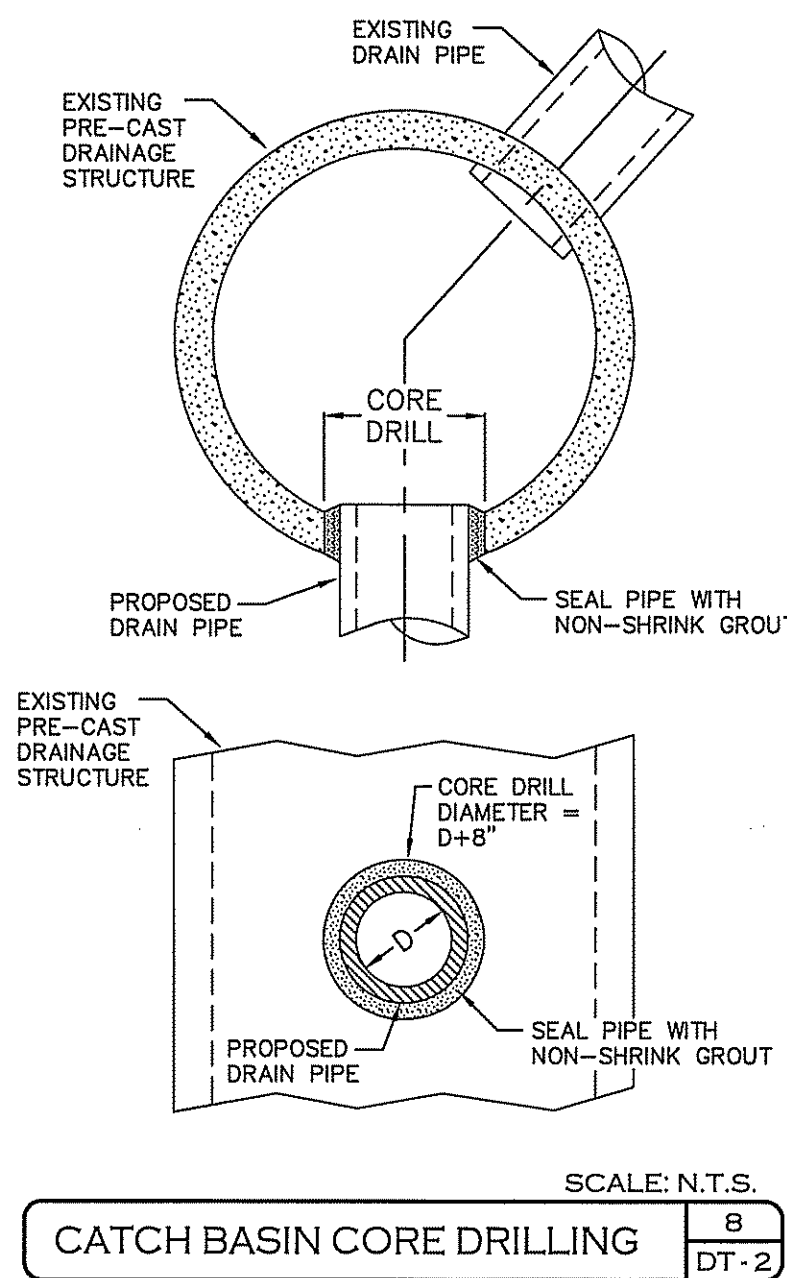
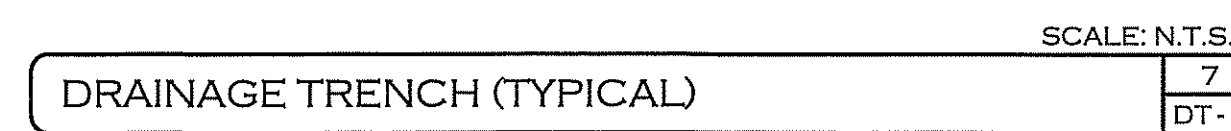
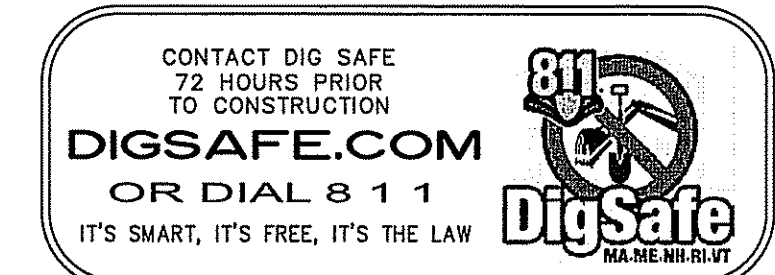


TABLE 1 (RECOMMENDED COVER)			TABLE 2 (RECOMMENDED TRENCH WIDTH)		
LOCATION	PIPE MATERIAL	MINIMUM COVER	INSIDE DIAMETER	TOTAL WIDTH	
PAVED ROADS	ALL	3 FT.	12" TO 24"	I.D. + 24"	
GRAVEL ROADS	ALL	2 FT.	OVER 24"	2 x I.D.	
DRIVEWAYS	ALL	1 FT.			
UNPAVED AREAS	ALL	2 FT.			



LOCATION	BASIN OUTLETS		ELEVATIONS (FT.)						
	STAGE 1	STAGE 2	A	B	C	D	E	F	G
OS1 (19P)	8" ORIFICE	12" ORIFICE	190.0	193.2	197.0	199.0	200.0	186.0	184.0
OS2 (21P)	12" ORIFICE	N/A	150.0	153.0	-	158.6	160.0	151.8	151.0



REV.	DATE	DESCRIPTION	C/O	DR	CK
E	1/27/23	REVISED PER CONSTRUCTION ADMINISTRATION		CLR	CEB
D	8/29/22	REVISED PER ENGINEERING PEER REVIEW		CLR	CEB
C	8/2/22	REVISED PER ENGINEERING DIVISION COMMENTS		CLR	CEB
B	7/22/22	REVISED PER CONSERVATION COMMISSION		CLR	CEB
A	6/29/22	REV. PER ENGINEERING REVIEW		CLR	CEB

CONSTRUCTION DETAILS

PIE HILL

WAREHOUSING

TAX MAP 1010 LOT 79-17

(46 OLD FERRY ROAD)

METHUEN, MASSACHUSETTS

PREPARED FOR:

TRIPLE G PROPERTY LLC

59 BONANNO COURT, METHUEN, MA 01844

SCALE: NONE APRIL 4, 2022

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs



1. PRIOR TO STARTING ANY WORK ON THE SITE THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES.
2. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS THEREOF IN MASSACHUSETTS STORM WATER HANDBOOK, VOLUME 1-3, LATEST EDITION.
3. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PER PLANS AND DETAILS. PERIMETER CONTROLS SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF EARTH DISTURBING ACTIVITIES.
4. INSTALL INLET PROTECTION AROUND ALL STORM DRAIN STRUCTURES. INLET PROTECTION BMP'S SHALL REMAIN UNTIL THE SITE IS STABILIZED. CONSTRUCTION OF DETENTION BASINS AND TREATMENT SWALES SHALL OCCUR PRIOR TO AN EARTH MOVING OPERATION THAT WILL INFLUENCE STORM WATER RUNOFF.
5. THE WORK AREA SHALL BE GRADED, SHAPED AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMIZE SOIL EROSION, SILTATION OF DRAINAGE CHANNELS, DAMAGE TO EXISTING VEGETATION, AND DAMAGE TO PROPERTY OUTSIDE THE LIMITS OF THE WORK AREA.
6. EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEN POSSIBLE.
7. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE KEPT CLEAN DURING CONSTRUCTION. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE A WEEK AND AFTER EVERY 0.5-INCH OR GREATER RAINFALL. SEDIMENTS SHALL BE DISPOSED OF IN AN UPLAND AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND BE PERMANENTLY STABILIZED.
8. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION. AT NO TIME SHALL THE TOTAL UNSTABILIZED DISTURBED AREA, INCLUDING LOT DISTURBANCES, BE GREATER THAN FIVE (5) ACRES.
9. THE LAND AREA EXPOSED SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME. ALL NON-ACTIVE DISTURBED AREAS SHALL BE STABILIZED WITHIN 30 DAYS OF THE DISTURBANCE. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF FINAL GRADING.
10. DITCHES, SWALES AND DRAINAGE BASINS SHALL BE CONSTRUCTED DURING THE INITIAL PHASE OF CONSTRUCTION AND STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
11. AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED:
A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
C. A MINIMUM OF 3-INCHES OF NON-EROSIVE MATERIAL, SUCH AS STONE OR RIPRAP, HAS BEEN INSTALLED OR
D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
12. EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL SLOPES THAT ARE STEEPER THAN 3:1 (HORIZONTAL / VERTICAL), UNLESS OTHERWISE SPECIFIED THE CONTRACTOR SHALL USE NORTH AMERICAN GREEN SC150, OR APPROVED EQUAL.
13. ALL AREAS RECEIVING EROSION CONTROL STONE OR RIPRAP SHALL HAVE A GEOTEXTILE MATERIAL INSTALLED BELOW THE STONE (SEE APPROPRIATE DETAILS).
14. ALL DISTURBED AREAS TO TURN FINISHED SHALL BE COVERED WITH A MINIMUM THICKNESS OF 8 INCHES OF COMPACTED LOAM. LOAM SHALL BE COVERED WITH THE APPROPRIATE SEED MIXTURE AS INDICATED BELOW.

PERMANENT SEED (LAWN AREAS)	LBS / 1,000 SQ. FT.	PERMANENT SLOPE SEED MIX	LBS / 1,000 SQ. FT.
CREeping RED FESCUE	0.92 LBS	CREeping RED FESCUE	0.80 LBS
PERENNIAL RYEGRASS	1.15 LBS	PERENNIAL RYEGRASS	0.69 LBS
KENTUCKY BLUEGRASS	0.58 LBS	REDTOP	0.12 LBS
REDTOP	0.12 LBS	ALSKIE CLOVER	0.12 LBS
		BIRDSFOOT TREFOIL	0.12 LBS

**APPLICATION RATE TOTALS
2.8 LBS PER 1,000 SF**

15. TEMPORARY STABILIZATION OF DISTURBED AREAS:
STRIPPED SOIL SHALL BE STOCKPILED UNCOMPACTED, AND STABILIZED AGAINST EROSION AS OUTLINED BELOW:

SEED BED PREPARATION: 10-10-10 FERTILIZATION TO BE SPREAD AT THE RATE OF 7 LBS. PER 100 SF AND AGRICULTURAL LIMESTONE AT A RATE OF 90 LBS PER 1000 SF AND INCORPORATED INTO THE SOIL. THE SOIL, FERTILIZER AND LIMESTONE SHALL BE TILLED TO PREPARE FOR SEEDING.

A. SEED MIXTURE: USE ANY OF THE FOLLOWING:

SPECIES	RATE PER 1,000 SF	DEPTH	SEEDING DATES
WINTER RYE	2.5 LBS	1 INCH	8/15 TO 9/15
CATS	2.5 LBS	1 INCH	4/15 TO 4/15
ANNUAL RYEGRASS	1.0 LBS	0.25 INCH	8/15 TO 9/15

B. MULCHING: MULCH SHOULD BE USED ON HIGHLY ERODIBLE AREAS, AND WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT AS FOLLOWS:

TYPE	RATE PER 1,000 SF	USE AND COMMENTS
STRAW	70 TO 90 LBS	MAY BE USED WITH PLANTINGS, MUST BE ANCHORED TO BE USED ALONE
WOOD CHIPS OR BARK MULCH	450 TO 620 LBS	USED WITH TREE AND SHRUB PLANTINGS
FIBROUS MATTING	AS RECOMMENDED BY MANUFACTURER	MUST BE BIODEGRADABLE. USE IN SLOPE AREAS AND AREAS DIFFICULT TO VEGETATE

CRUSHED STONE 1/4" TO 1/2" DIA. SPREAD TO GREATER THAN 1/2" THICKNESS. USE IN SPECIFIC AREAS AS SHOWN ON PLAN OR AS NEEDED

16. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE (CRITICAL TIME FRAMES OR VARIABLE SITES) THEN APPLY FERTILIZER AT A RATE OF 11 POUNDS PER 1,000 SF AND LIMESTONE AT A RATE OF 90 POUNDS PER 1,000 SF. FERTILIZER SHALL BE LOW PHOSPHATE (LESS THAN 2% PHOSPHORUS).

17. CAUTION SHOULD BE TAKEN WHEN THE PROPERTY IS LOCATED WITHIN 250 FEET OF A WATER BODY. IN THIS CASE ALL FERTILIZERS SHALL BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER. SLOW RELEASE FERTILIZERS MUST BE AT LEAST 50% SLOW RELEASE NITROGEN COMPONENT. NO FERTILIZER EXCEPT LIMESTONE SHALL BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER. THESE ARE REGULATED LIMITATIONS.

18. PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS (SEE WINTER CONSTRUCTION NOTES). NO DISTURBED AREAS SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS.

19. A VIGOROUS DUST CONTROL PROGRAM SHALL BE APPLIED BY THE SITE CONTRACTOR. DUST SHALL BE MANAGED THROUGH THE USE OF WATER AND/OR CALCIUM CHLORIDE. THE DUST CONTROL PROGRAM WILL INCLUDE A WATER APPLICATION TRUCK TO BE ON SITE DURING CONSTRUCTION AND AVAILABLE TO WET DOWN DUSTY SURFACES AS NEEDED DURING THE DAY. TYPICALLY WATER APPLICATION WILL BE FIRST THING BEFORE WORKS STARTS IN THE MORNING AND APPLIED AS NEEDED DEPENDING ON TRAFFIC AND WEATHER CONDITIONS.

20. IN NO WAY ARE THE MEASURES INDICATED ON THE PLANS OR IN THESE NOTES TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGMENT TO INSTALL ADDITIONAL EROSION CONTROL MEASURES AS SITE CONDITIONS, WEATHER OR CONSTRUCTION METHODS WARRANT.

21. FOLLOWING PERMANENT STABILIZATION, TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND ACCUMULATED SEDIMENTATION IS TO BE DISPOSED OF IN AN APPROVED LOCATION, OUTSIDE OF JURISDICTIONAL WETLANDS.

22. LOT DISTURBANCE OTHER THAN SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.

23. THE CONTRACTOR AND OWNER ARE RESPONSIBLE FOR OBSERVING AND MANAGING THE PROJECT PER RSA 480:23 AND AGR 3800 REGARDING INVASIVE SPECIES (PLANTS AND INSECTS). NO INVASIVE SPECIES PLANT OR INSECT SHALL BE INTRODUCED ONTO THE SITE.

EROSION CONTROL NOTES

1
DT-3

1. INSTALL SILTATION CONTROL FENCES IN LOCATIONS SHOWN HEREON. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATION.
2. INSTALL STABILIZED CONSTRUCTION EXIT(S).
3. CUT AND CLEAR TREES; DISPOSE OF DEBRIS. STUMPS ARE TO BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY.
4. REMOVE TOPSOIL AND STOCKPILE AWAY FROM ANY WETLAND. STABILIZE STOCKPILE IMMEDIATELY BY SEEDING. PLACE SILT FENCE AROUND THE DOWN SLOPE SIDE OF EARTH STOCKPILES.
5. ROUGH GRADE SITE - CONSTRUCT DRAINAGE BASINS AND DRAINAGE SWALES DURING INITIAL PORTION OF CONSTRUCTION. STABILIZE IMMEDIATELY PER THE CONSTRUCTION AND EROSION CONTROL DETAILS. DO NOT DIRECT STORM WATER RUNOFF TO THESE STRUCTURES UNTIL A HEALTHY VEGETATIVE COVER IS ESTABLISHED.
6. STABILIZATION OF STEEP SLOPES WILL BEGIN BY REMOVING MATERIALS AT THE TOP OF THE SLOPE DOWN TO PROPOSED GRADE. A BENCH HALFWAY DOWN THE SLOPE WILL BE GRADED IN FOR CONSTRUCTION VEHICLES. THE SLOPE AREA WILL BE BUILT FROM THE BOTTOM UP, STABILIZED WITH EROSION CONTROL MATTINGS AS DEPICTED ON EROSION CONTROL PLANS.
7. EXPOSE LEDGE AND COMMENCE BLASTING ACTIVITIES IN ACCORDANCE WITH THE BLASTING BEST MANAGEMENT PRACTICES SUMMARIZED HEREON. THE SLOPE OF THE LEDGE CUTS SHALL BE DEPENDENT ON THE COMPETENCY OF THE LEDGE ENCOUNTERED WITH A MAXIMUM RATE OF 1' HORIZ. TO 4' VERT.
8. BEGIN BUILDING CONSTRUCTION.
9. CONSTRUCT ROAD, PARKING AND BUILDING PADS. INSTALL UTILITIES AND STRUCTURES. ALL CUT AND FILL SLOPES SHALL BE STABILIZED UPON COMPLETION OF ROUGH GRADING PER THE EROSION CONTROL NOTES.
10. INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER EVERY 0.25" OR GREATER RAINFALL.
11. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, CULVERTS, DITCHES, SILTATION FENCES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
12. FINISH GRADING TO PREPARE FOR PAVING AND LOAMING. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING.
13. FINISH PAVING. PERMANENT SEEDING SHALL BE PERFORMED UPON COMPLETION OF DRIVE AND PARKING AREA PAVING (SEE EROSION CONTROL NOTES).
14. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
15. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.
16. ALL STRUCTURES SHALL BE CLEANED OF SEDIMENTS ONCE CONSTRUCTION IS COMPLETE.

CONSTRUCTION SEQUENCE

2
DT-3

THE FOLLOWING PROVIDES AN ITEMIZATION OF SPECIFIC SITE MAINTENANCE PRACTICES THAT WILL BE EMPLOYED ON THE SITE TO MINIMIZE POLLUTANT GENERATION AND TRANSPORT FROM THE SITE. THE SITE MAINTENANCE PROGRAM INCLUDES ROUTINE INSPECTIONS, PREVENTATIVE MAINTENANCE AND "GOOD HOUSEKEEPING" PRACTICES.

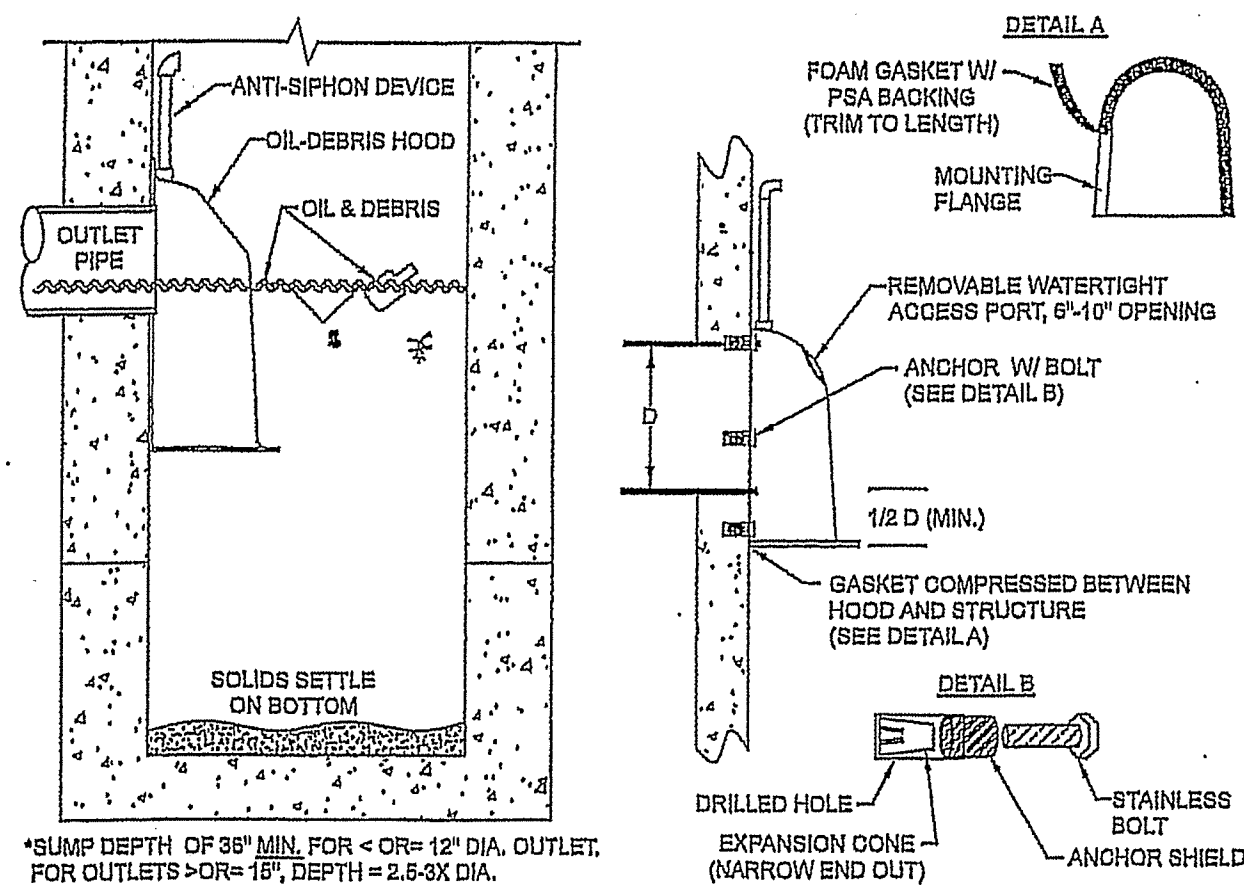
ROUTINE INSPECTIONS

1. THE CONTRACTOR SHALL INSPECT ALL CONTROL MEASURES AT LEAST ONCE A WEEK AND WITHIN TWELVE (12) HOURS OF THE END OF A STORM WITH RAINFALL AMOUNT GREATER THAN 0.5 INCHES. THE INSPECTIONS WILL VERIFY THAT THE STRUCTURAL BMP'S DESCRIBED IN THE PLANS ARE IN GOOD CONDITION AND ARE MINIMIZING EROSION. A MAINTENANCE INSPECTION REPORT WILL BE MADE WITH EACH INSPECTION. COMPLETED INSPECTION FORMS SHALL BE KEPT ON-SITE FOR THE DURATION OF THE PROJECT. FOLLOWING CONSTRUCTION, THE COMPLETED FORMS SHALL BE RETAINED AT THE CONTRACTOR'S OFFICE FOR A MINIMUM OF ONE YEAR.

PREVENTATIVE MAINTENANCE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TEMPORARY AND PERMANENT CONTROLS THROUGHOUT THE DURATION OF THIS CONTRACT. MAINTENANCE PRACTICES SHALL INCLUDE BUT ARE NOT LIMITED TO:

- CLEANING OF CATCH BASINS TWICE A YEAR OR MORE FREQUENTLY AS DICTATED BY QUARTERLY INSPECTIONS.
- CLEANING OF SEDIMENT AND DEBRIS FROM STORMWATER MANAGEMENT AREA FOREBAY TWICE A YEAR OR MORE FREQUENTLY AS DICTATED BY MONTHLY INSPECTIONS.
- IMPLEMENTATION OF OTHER MAINTENANCE OR REPAIR ACTIVITIES AS DEEMED NECESSARY BASED ON WEEKLY INSPECTIONS.
- REMOVAL OF BUILT UP SEDIMENT ALONG SILT FENCES AND / OR HAY BALE BARRIERS.
- REMOVAL OF BUILT UP SEDIMENT IN BOTH TEMPORARY AND PERMANENT CONTROLS SUCH AS GRASS SWALES, SEDIMENT FOREBAYS AND RECHARGE / DETENTION BASINS.
- RECONSTRUCTING THE STABILIZED CONSTRUCTION ENTR



STRUCTURE OUTLET HOLE SIZE
11.5" O.D. OR LESS
12.0" - 17.5" O.D.
18.0" - 23.5" O.D.
24.0" - 29.5" O.D.
30.0" - 47.5" O.D.
48.0" - 55.5" O.D.

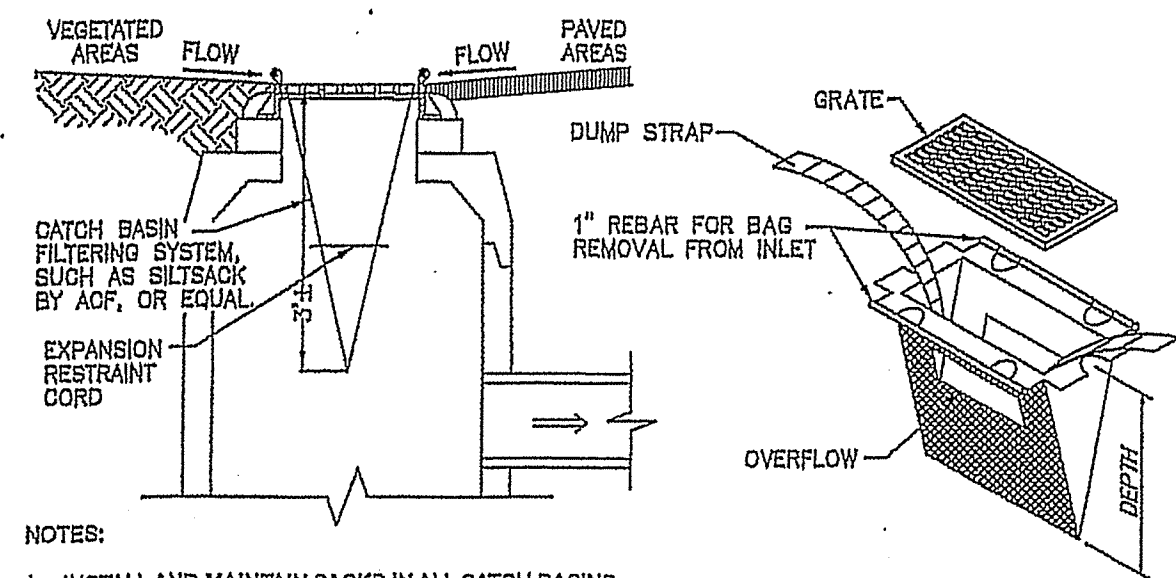
HOOD SIZE
12 F or R
15 F or R
24 F or R
30 F or R
48 F
55 F

INSTALLATION NOTE:
POSITION HOOD SUCH THAT BOTTOM FLANGE IS A DISTANCE OF 1/2 OUTLET PIPE DIAMETER (MIN.) BELOW THE PIPE INVERT. MINIMUM DISTANCE FOR PIPES <12" I.D. IS 6".

HOODS TO BE INSTALLED ON ALL CATCH BASINS.

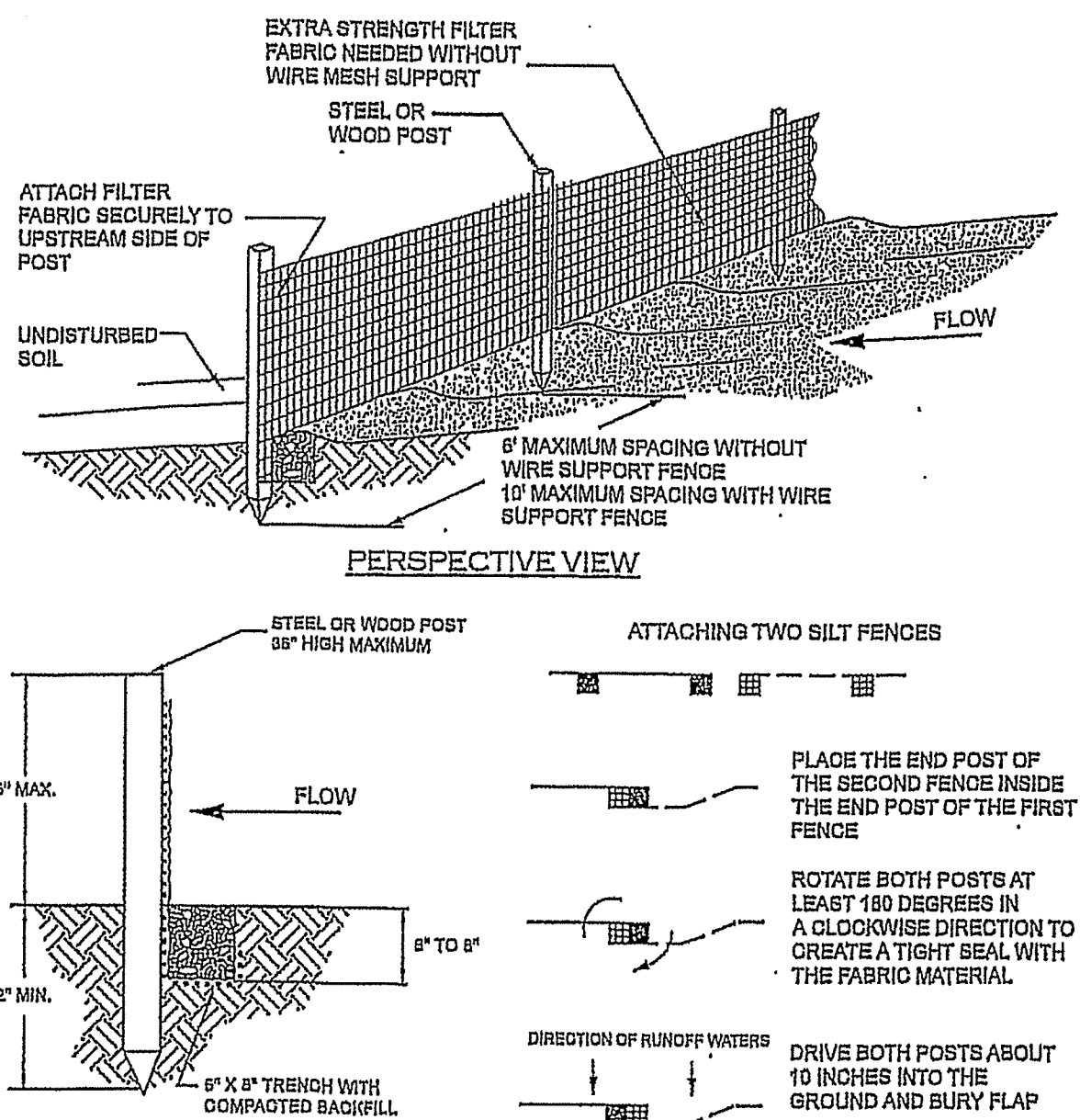
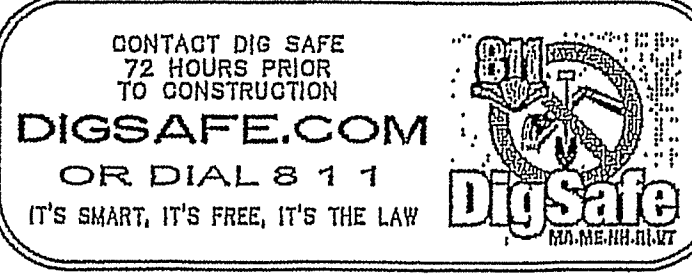
- ALL HOODS SHALL BE EQUIPPED WITH A WATERTIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SIPHON VENT AS DRAWN. (SEE CONFIGURATION DETAIL)
- THE SIZE AND POSITION OF THE HOOD SHALL BE DETERMINED BY OUTLET PIPE SIZE AS PER MANUFACTURER'S RECOMMENDATION.
- THE BOTTOM OF THE HOOD SHALL EXTEND DOWNWARD A DISTANCE EQUAL TO 1/2 THE OUTLET PIPE DIAMETER WITH A MINIMUM DISTANCE OF 6" FOR PIPES <12" I.D.
- THE ANTI-SIPHON VENT SHALL EXTEND ABOVE HOOD BY MINIMUM OF 3" AND A MAXIMUM OF 12" ACCORDING TO STRUCTURE CONFIGURATION.
- THE SURFACE OF THE STRUCTURE WHERE THE HOOD IS MOUNTED SHALL BE FINISHED SMOOTH AND FREE OF LOOSE MATERIAL AND THE PIPE SHALL BE TRIMMED FLUSH TO WALL.
- THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH 3/8" STAINLESS STEEL BOLTS AND OIL-RESISTANT GASKET AS SUPPLIED BY MANUFACTURER. (SEE INSTALLATION DETAIL)
- ALL HOODS AND TRAPS FOR CATCH BASINS AND WATER QUALITY STRUCTURES SHALL BE AS MANUFACTURED BY BEST MANAGEMENT PRODUCTS, INC., LYME, CT OR EQUAL.

OIL-DEBRIS HOOD 1 DT-4



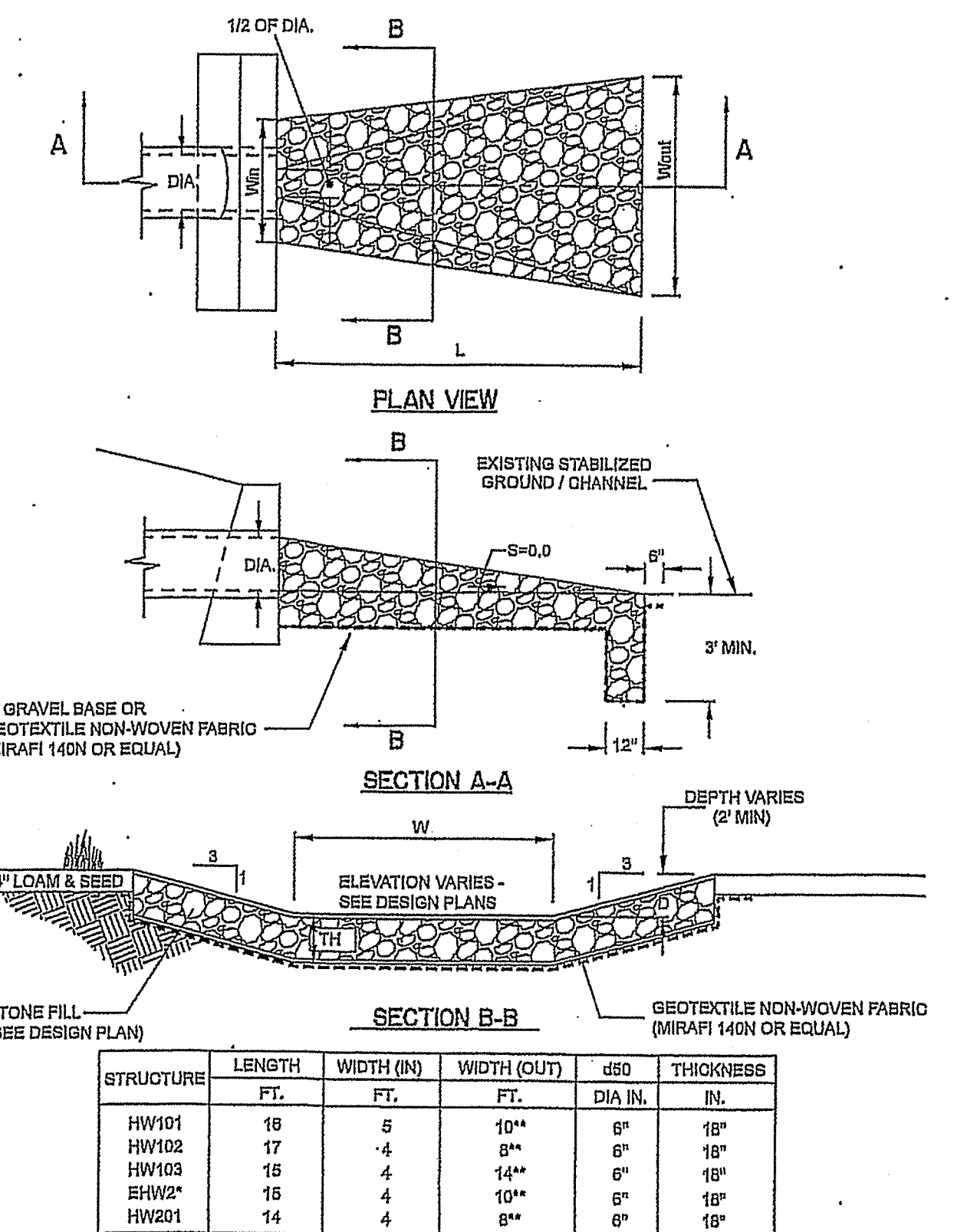
- INSTALL AND MAINTAIN SACKS IN ALL CATCH BASINS.
- TO INSTALL SACK, REMOVE CATCH BASIN GRATE AND PLACE SACK IN OPENING. HOLD OUT APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME FOR THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
- THE SACK SHOULD BE INSPECTED AFTER EVERY STORM, OR ONCE EVERY TWO WEEKS, WHICH EVER OCCURS FIRST.
- THE RESTRAINT CORD SHOULD BE VISIBLE AT ALL TIMES. IF THE CORD IS COVERED WITH SEDIMENT, THE SACK SHOULD BE EMPTIED. EMPTY THE SACK AWAY FROM THE CATCH BASIN TO PREVENT SEDIMENT FROM RE-ENTERING THE CATCH BASIN. EMPTY THE SACK PER THE MANUFACTURER'S RECOMMENDATIONS.
- REPLACE THE SACK IN THE CATCH BASIN AFTER THE SACK HAS BEEN EMPTIED. ONCE CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS HAVE BEEN STABILIZED BY PAVING OR A HEALTHY VEGETATIVE COVER, REMOVE THE SACK FROM THE CATCH BASIN.

SILT SACK SEDIMENT FILTER 2 DT-4



- SILT FENCES SHOULD NOT BE USED ACROSS STREAMS, CHANNELS, SWALES, DITCHES OR OTHER DRAINAGE WAYS.
- SILT FENCE SHOULD BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE AND THE ENDS OF THE SILT FENCE SHOULD BE FLARED UPSLOPE.
- IF THE SITE CONDITIONS INCLUDE FROZEN GROUND, LEDGE OR THE PRESENCE OF HEAVY ROOTS THE BASE OF THE FABRIC SHOULD BE EMBEDDED WITH A MINIMUM THICKNESS OF 6 INCHES OF 3/4-INCH STONE.
- SILT FENCES PLACED AT THE TOE OF SLOPES SHOULD BE INSTALLED AT LEAST 5 FEET FROM THE TOE TO ALLOW SPACE FOR SHALLOW PONDING AND ACCESS FOR MAINTENANCE.
- THE MAXIMUM SLOPE ABOVE THE FENCE SHOULD BE 2:1 AND THE MAXIMUM LENGTH OF SLOPE ABOVE THE FENCE SHOULD BE 100 FEET.
- REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
- SILT FENCES SHOULD BE REMOVED WHEN THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.

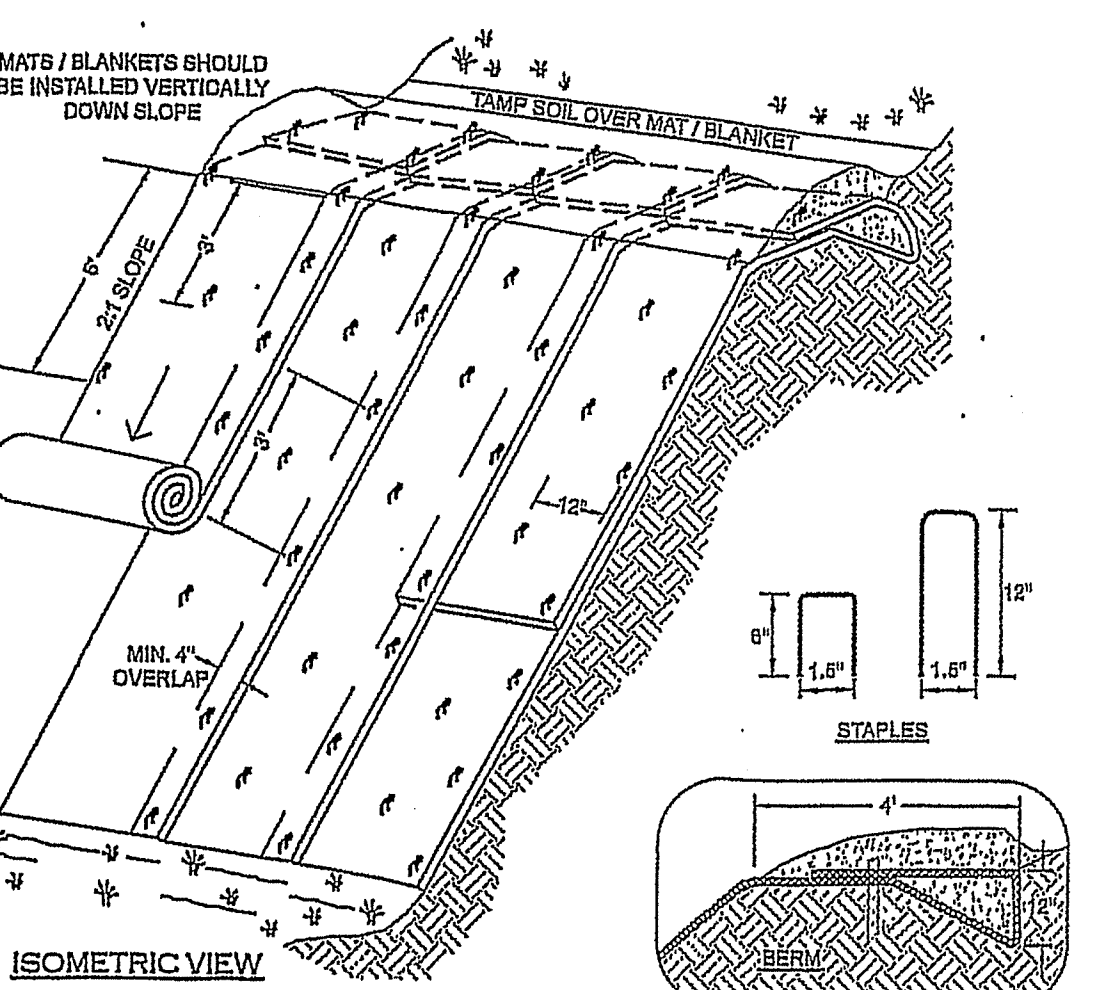
SILT FENCE 3 DT-4



STRUCTURE	LENGTH FT.	WIDTH (IN) FT.	WIDTH (OUT) FT.	d50 DIA IN.	THICKNESS IN.
HW101	18	5	10**	6"	18"
HW102	17	4	8**	6"	18"
HW103	16	4	14**	6"	18"
HW104	15	4	10**	6"	18"
HW201	14	4	8**	6"	18"

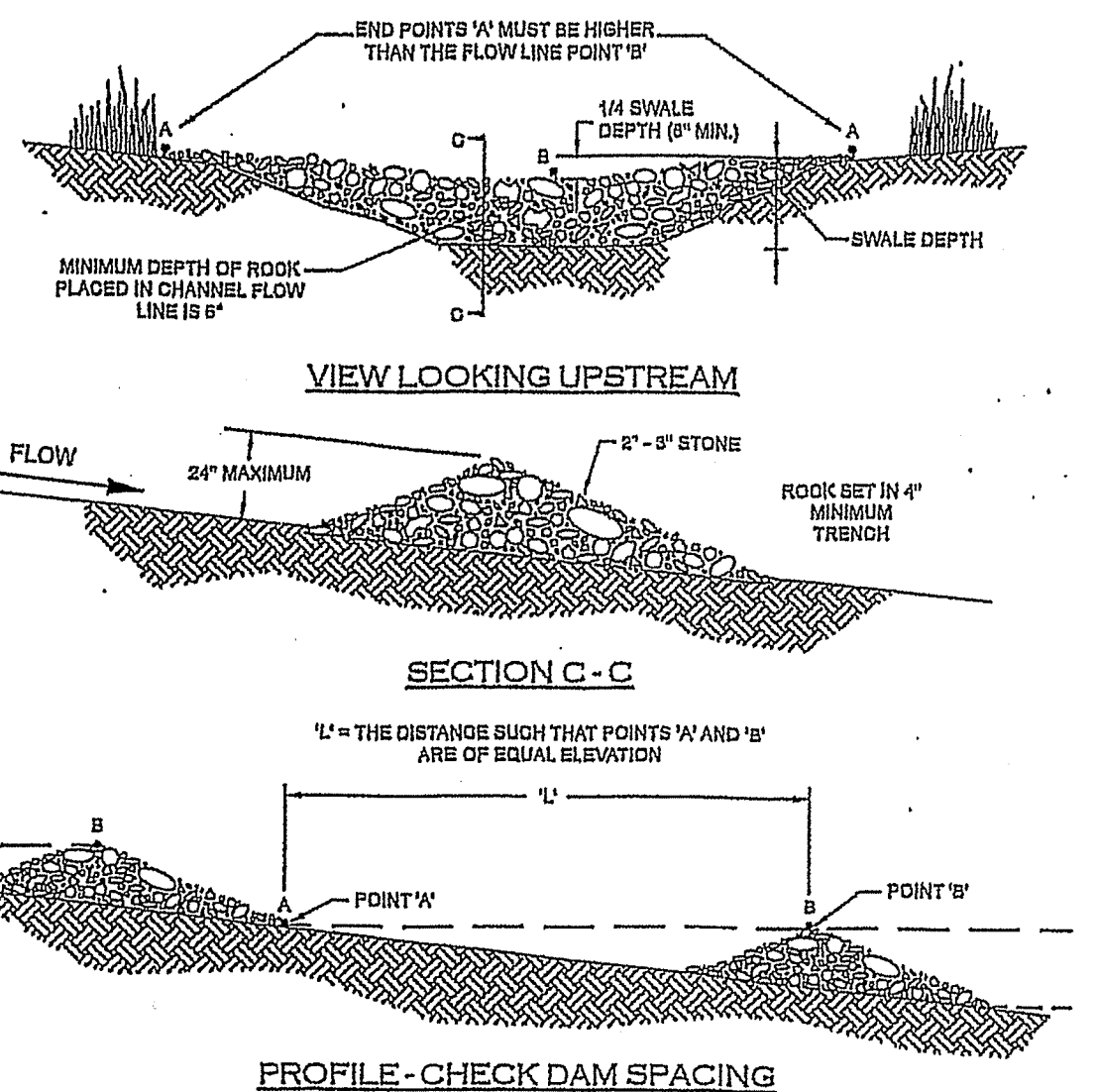
* EXISTING HEADWALL
** DEFINED CHANNEL

RIP-RAP OUTLET PROTECTION 4 DT-4



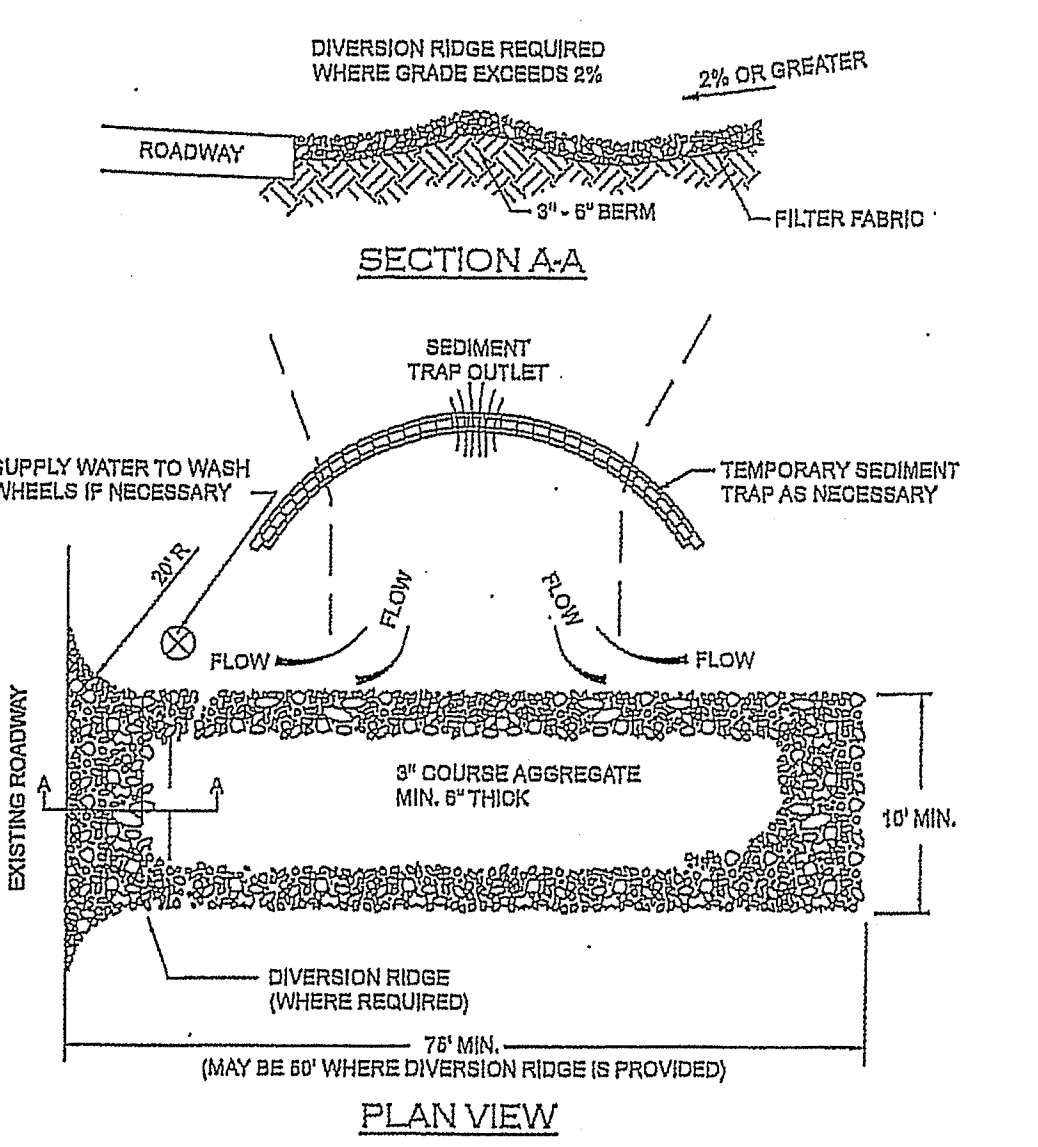
- DIMENSIONS GIVEN IN THIS DETAIL ARE EXAMPLES; DEVICE SHOULD BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- INSTALL STRAW/COCONUT FIBER EROSION CONTROL MAT SUCH AS NORTH AMERICAN GREEN SC160 BN OR EQUAL ON ALL SLOPES EXCEEDING 3' HORIZ. 1' VERT.
- THE EROSION CONTROL MATERIAL(S) SHALL BE ANCHORED WITH "U" SHAPED 11 GAUGE WIRE STAPLES OR WOODEN STAKES WITH A MINIMUM TOP WIDTH OF 1 INCH AND LENGTH OF 6 INCH.
- SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS / BLANKETS SHALL HAVE GOOD SOIL CONTACT.
- APPLY LIME, FERTILIZER AND PERMANENT SEEDING BEFORE PLACING BLANKETS.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET AS SHOWN. ROLL THE BLANKETS DOWN THE SLOPE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES OR STAKES IN APPROPRIATE LOCATIONS. REFER TO MANUFACTURER'S STAPLE GUIDE FOR CORRECT STAPLE PATTERN.
- LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
- IN LOOSE SOIL CONDITIONS THE USE OF STAPLES OR STAKE LENGTHS GREATER THAN 6 INCHES MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
- THE CONTRACTOR SHALL MAINTAIN THE BLANKET UNTIL ALL WORK ON THE CONTRACT HAS BEEN COMPLETED AND ACCEPTED. MAINTENANCE SHALL CONSIST OF THE REPAIR OF AREAS WHERE DAMAGED BY ANY CAUSE. ALL DAMAGED AREAS SHALL BE REPAIRED TO REESTABLISH THE CONDITIONS AND GRADE OF THE SOIL PRIOR TO APPLICATION OF THE COVERING AND SHALL BE RESEEDING, RESEEDING AND REMULCHED AS DIRECTED.

EROSION BLANKETS - SLOPE INSTALLATION 5 DT-4



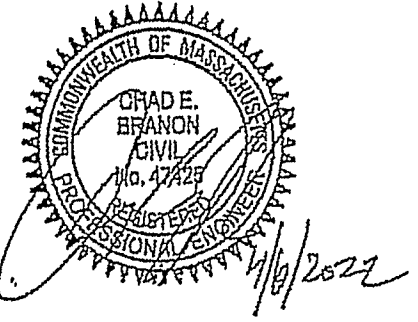
- STONE CHECK DAMS SHOULD BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DRAINAGE DITCH.
- THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE CHECK DAM SHOULD BE LESS THAN ONE ACRE.
- STONE CHECK DAMS SHOULD NOT BE USED IN A FLOWING STREAM.
- STONE CHECK DAMS SHOULD BE CONSTRUCTED OF WELL-GRADED ANGULAR 2 TO 3 INCH STONE. THE INSTALLATION OF 3/4-INCH STONE ON THE UPGRADIENT FACE IS RECOMMENDED FOR BETTER FILTERING.
- WHEN INSTALLING STONE CHECK DAMS THE CONTRACTOR SHALL KEY THE STONE INTO THE CHANNEL BANKS AND EXTEND THE STONE BEYOND THE ABUTMENTS A MINIMUM OF 16 INCHES TO PREVENT FLOW AROUND THE DAM.
- STONE CHECK DAMS SHOULD BE REMOVED ONCE THE SWALE OR DITCH HAS BEEN STABILIZED UNLESS OTHERWISE SPECIFIED.

STONE CHECK DAM 6 DT-4



- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- THE MINIMUM STONE USED SHOULD BE 3-INCH CRUSHED STONE.
- THE MINIMUM LENGTH OF THE PAD SHOULD BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
- THE PAD SHOULD EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS GREATER.
- THE PAD SHOULD SLOPE AWAY FROM THE EXISTING ROADWAY.
- THE PAD SHOULD BE AT LEAST 6-INCHES THICK.
- THE GEOTEXTILE FILTER FABRIC SHOULD BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD.
- THE PAD SHALL BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF-SITE.
- NATURAL DRAINAGE THAT CROSSES THE LOCATION OF THE STONE PAD SHOULD BE INTERCEPTED AND PIPED BENEATH THE PAD, AS NECESSARY, WITH SUITABLE OUTLET PROTECTION.
- WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

GRAVEL CONSTRUCTION EXIT 7 DT-4



EROSION CONTROL DETAILS

PIE HILL WAREHOUSING

TAX MAP 1010 LOT 79-17
(46 OLD FERRY ROAD)
METHUEN, MASSACHUSETTS

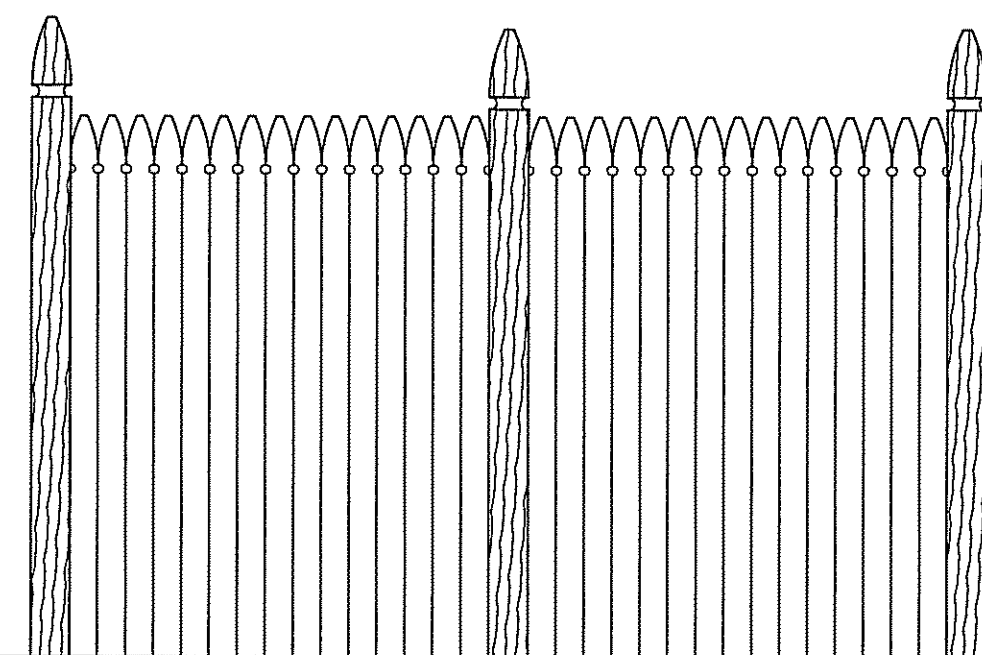
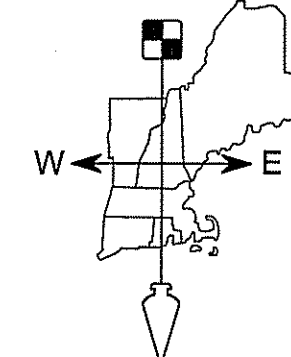
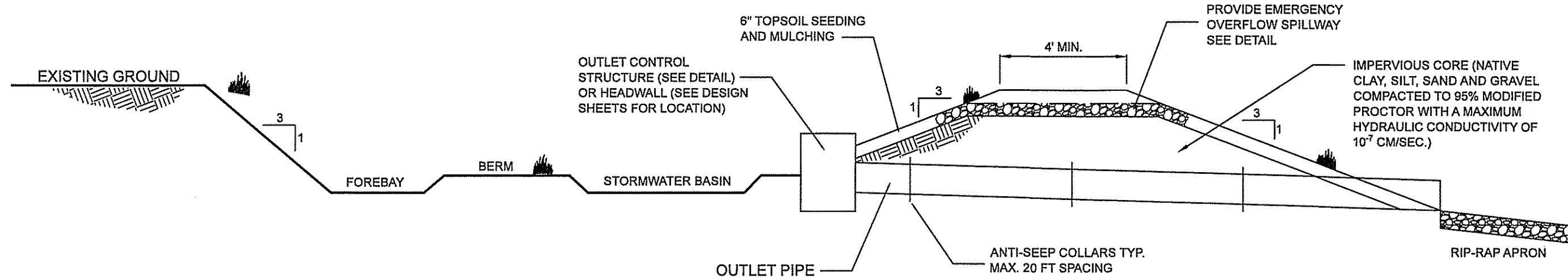
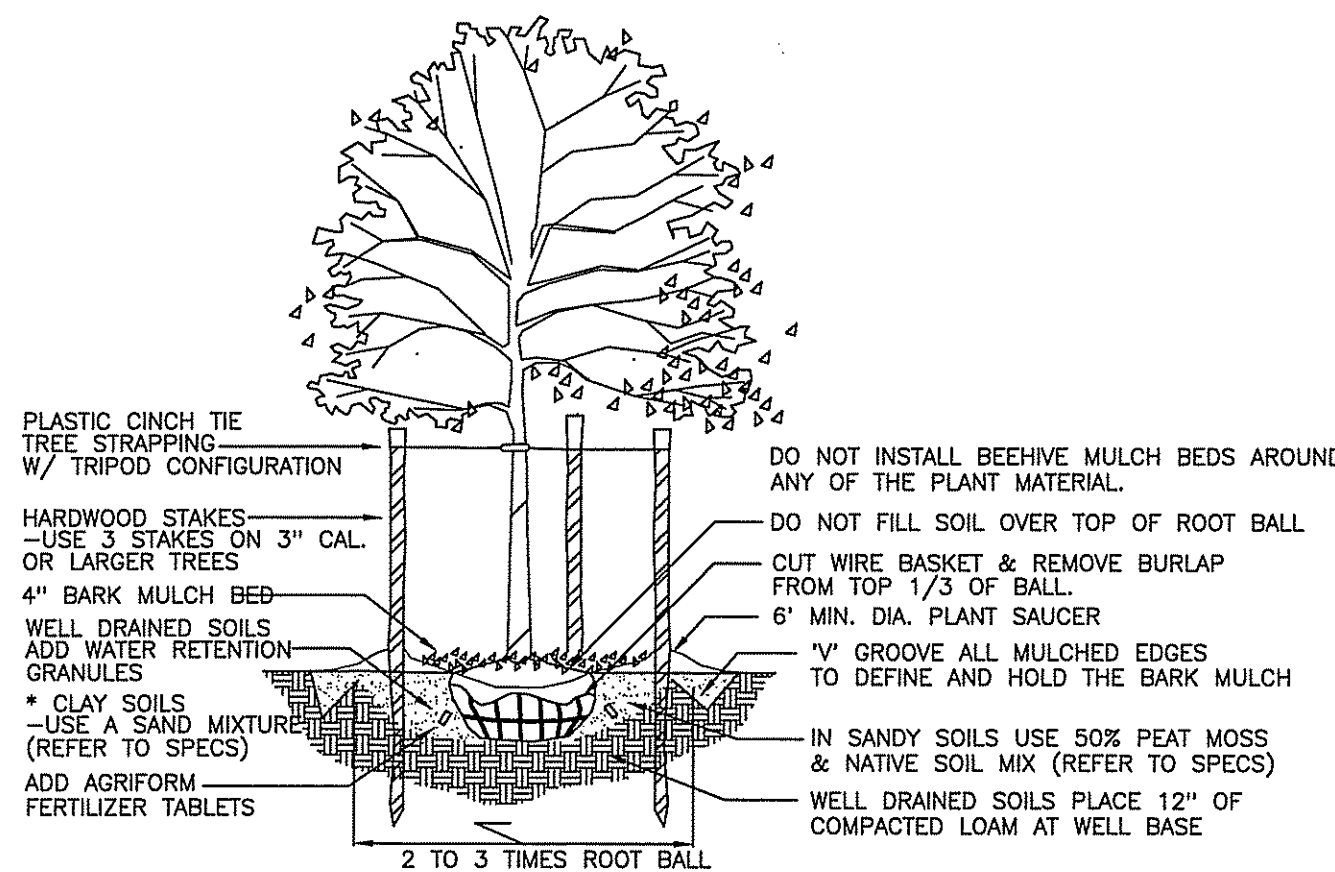
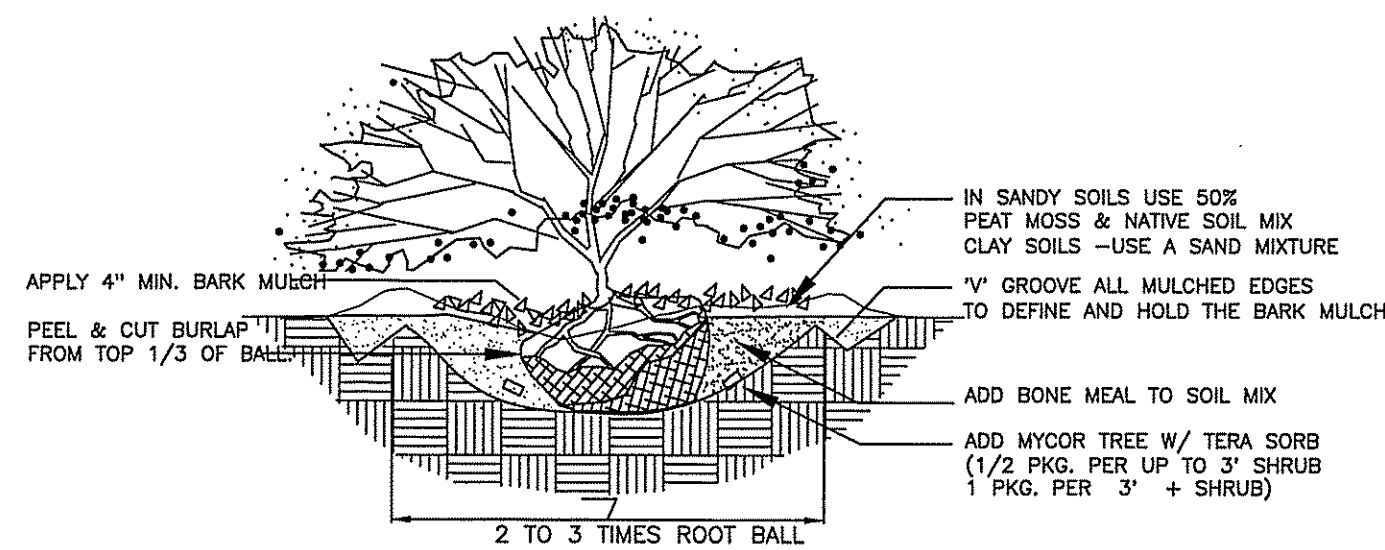
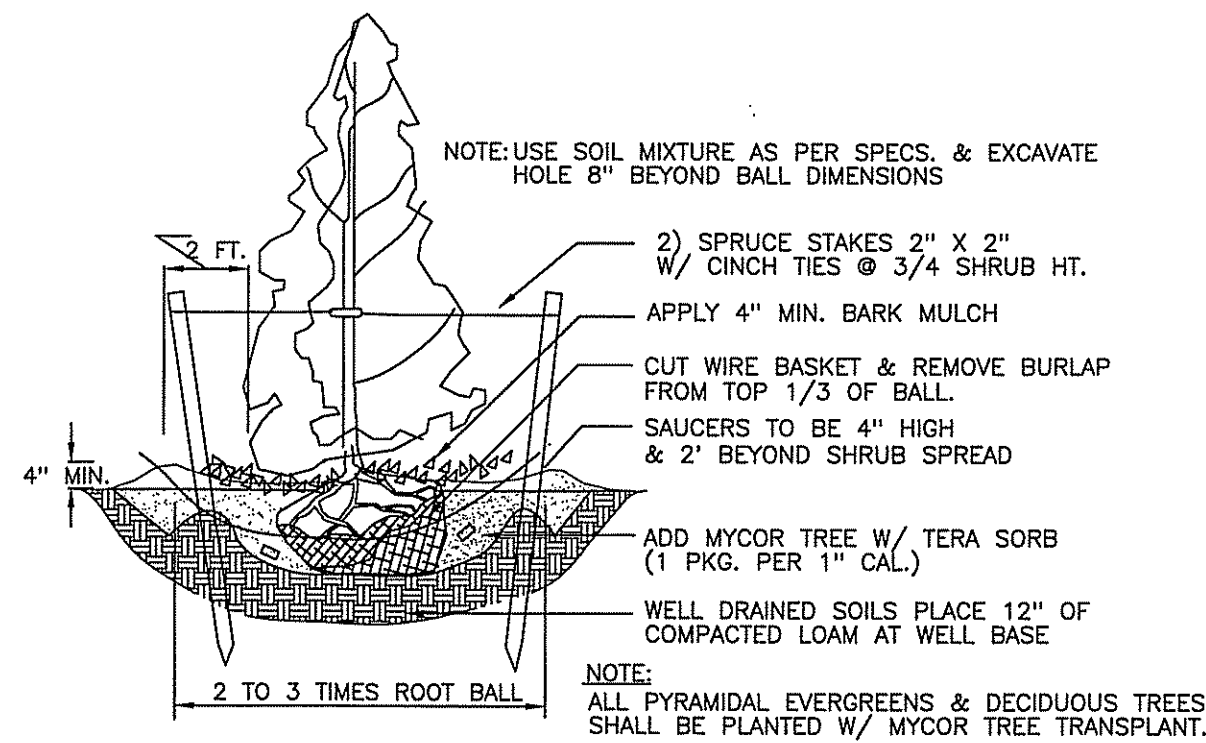
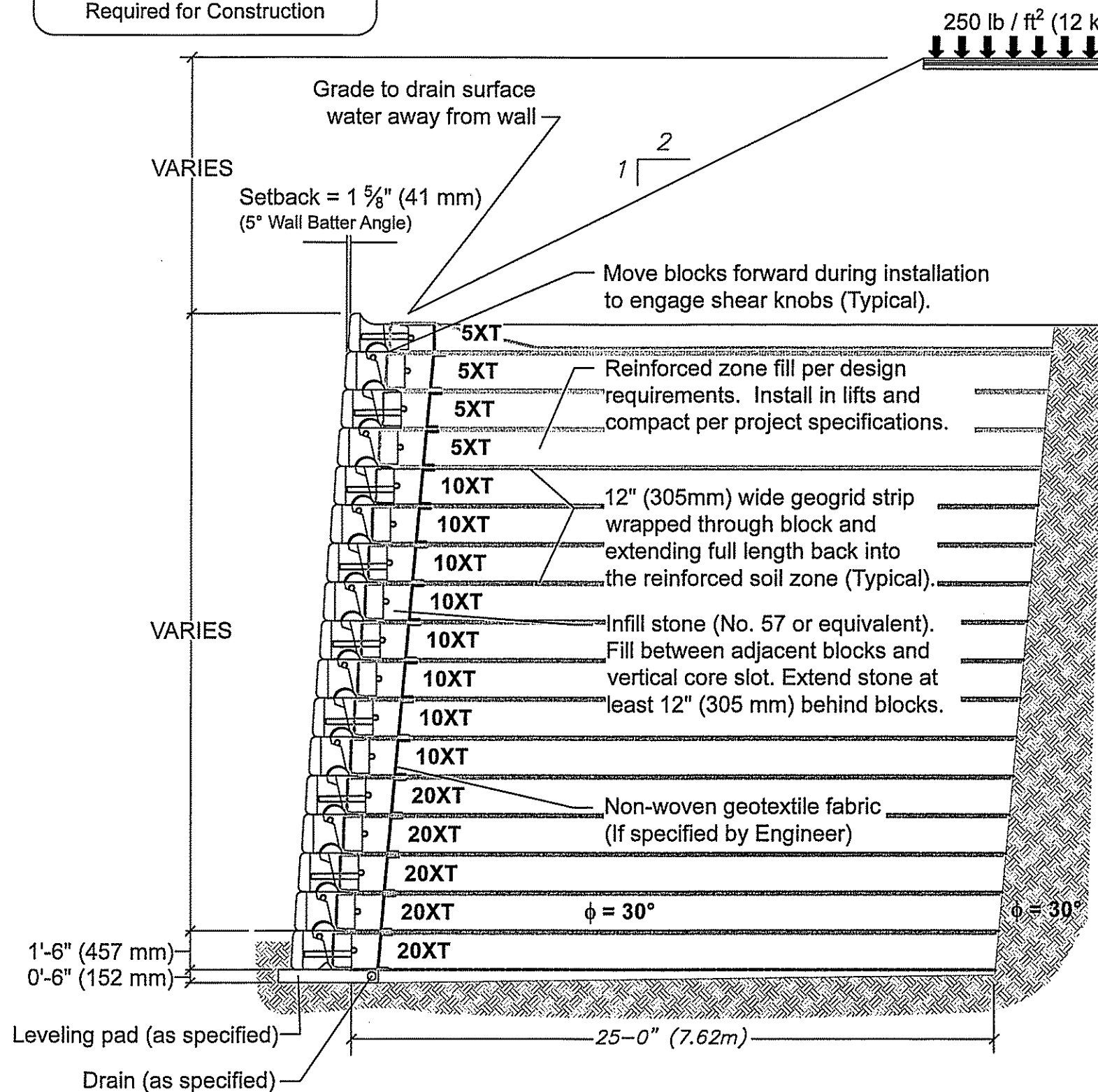
PREPARED FOR:
TRIPLE G PROPERTY LLC
59 BONANNO COURT, METHUEN, MA 01844

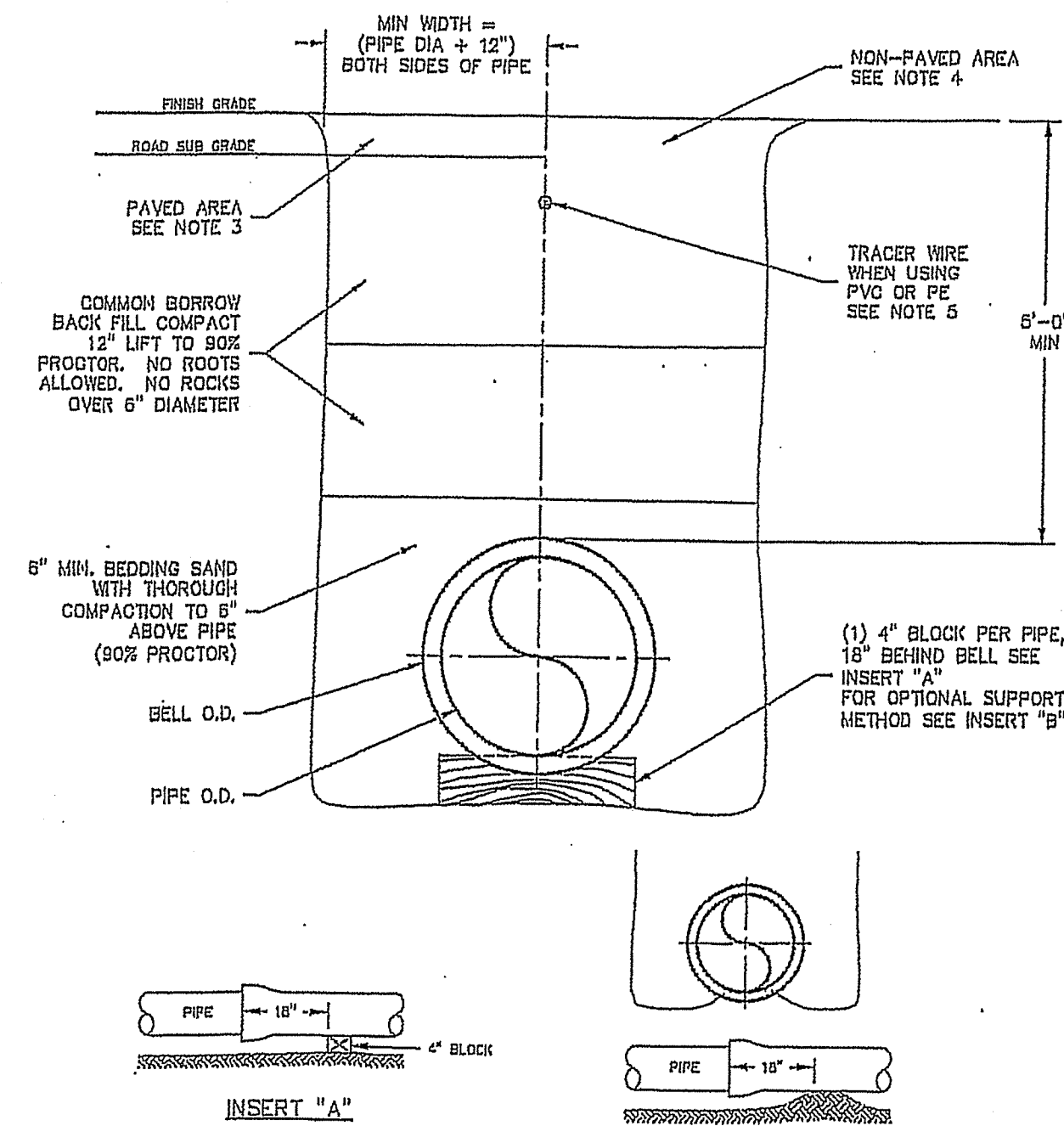
SCALE: NONE APRIL 4, 2022

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs



205 Elm Street, Milford, NH 03055
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

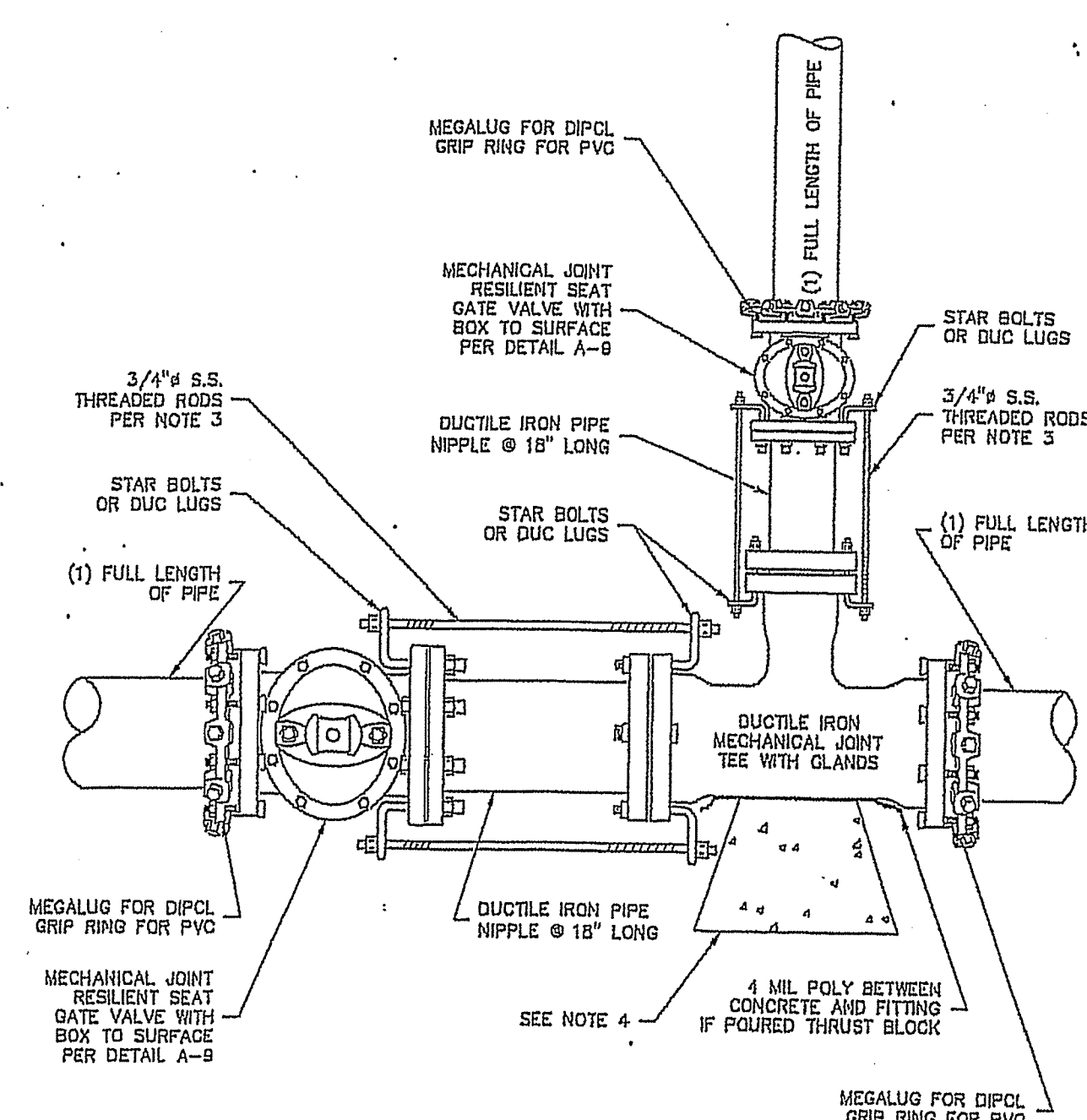




- NOTES:
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO METHUEN D.P.W. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
 3. REQUIREMENTS FOR SUBGRADE AND BASE MATERIAL TYPE ARE TO BE IN ACCORDANCE WITH LOCAL AGENCY HAVING LOCAL JURISDICTION IN PAVED AREAS.
 4. REQUIREMENTS FOR GRAVEL, LOAM AND/OR SEED ARE TO BE IN ACCORDANCE WITH LOCAL AGENCY HAVING LOCAL JURISDICTION IN NON-PAVED AREAS.
 5. TO GAUGE TRACER WIRE AS MANUFACTURED BY BMS, DIVISION OF ALABAMA CODE, AVOID MA OR EQUIVALENT.

TYPICAL TRENCH DETAIL

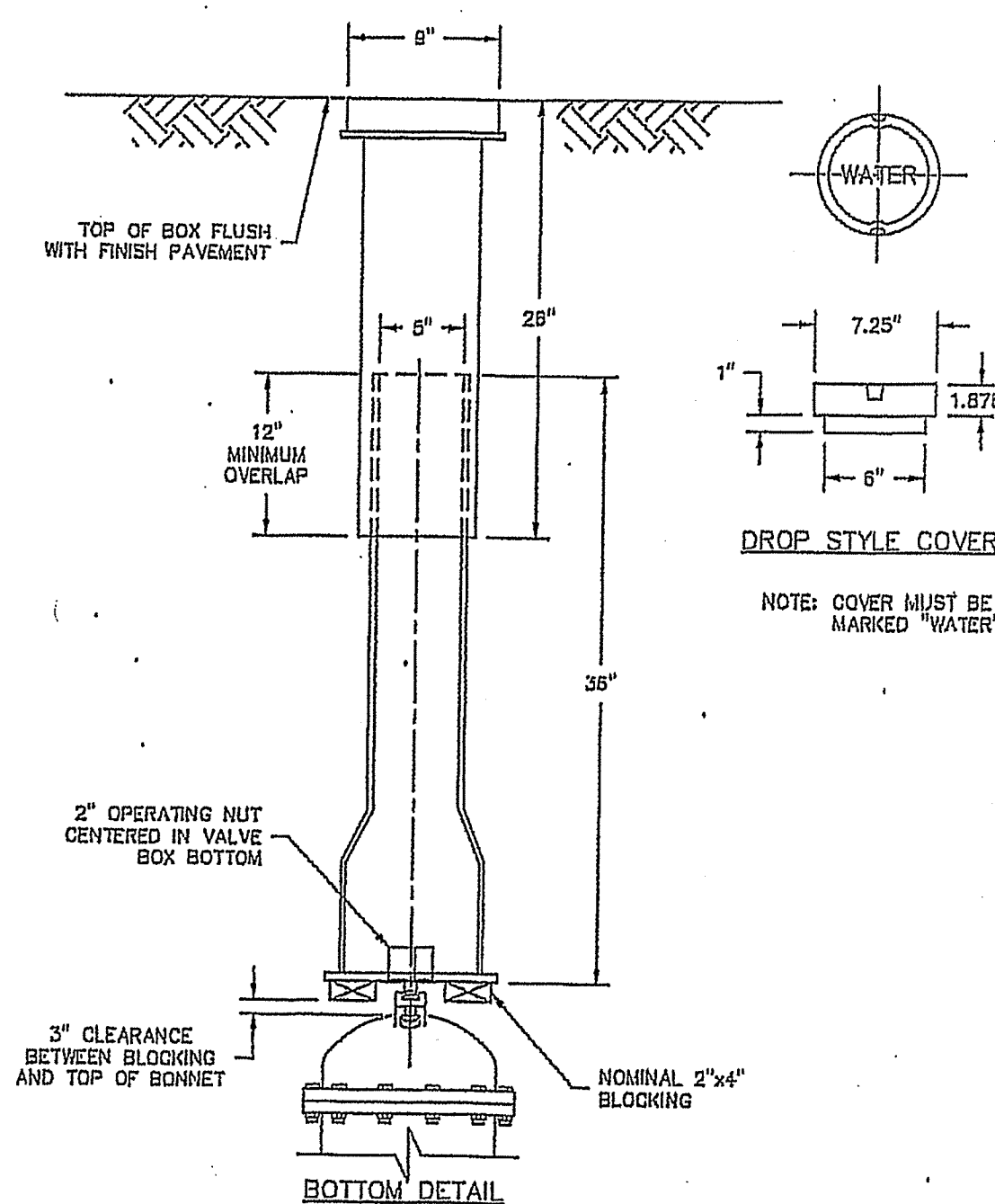
SCALE: N.T.S.
1
DT-6



- NOTES:
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO METHUEN D.P.W. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
 3. 3/4" S.S. RODS SHALL BE USED IN CONJUNCTION WITH REQUIRED S.S. NUTS. RODS ARE TO BE ATTACHED TO FITTINGS WITH EITHER STAR BOLTS OR DUC LUGS.
 4. 12" FITTING OR LARGER = (2) 3/4" S.S. RODS & ASSOC. HARDWARE. 12" FITTING OR LARGER = (1) 3/4" S.S. RODS & ASSOC. HARDWARE.
 5. MIN 3"x3"x3' PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH M.P.W. APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN. SEE DETAIL A-7.

TYPICAL TEE INSTALLATION

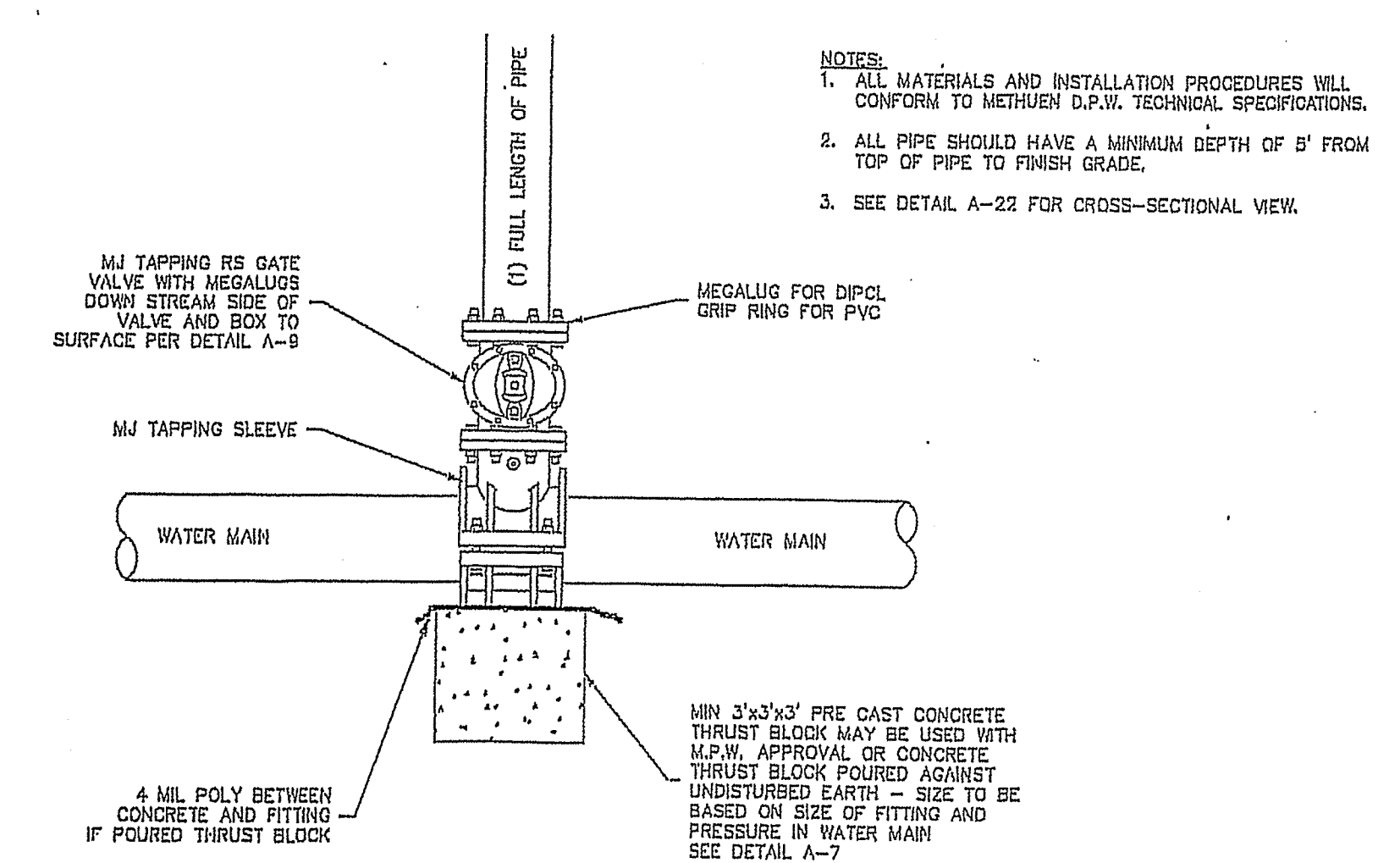
SCALE: N.T.S.
B
DT-6



- NOTES:
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO METHUEN D.P.W. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.

TYPICAL VALVE BOX

SCALE: N.T.S.
5
DT-6

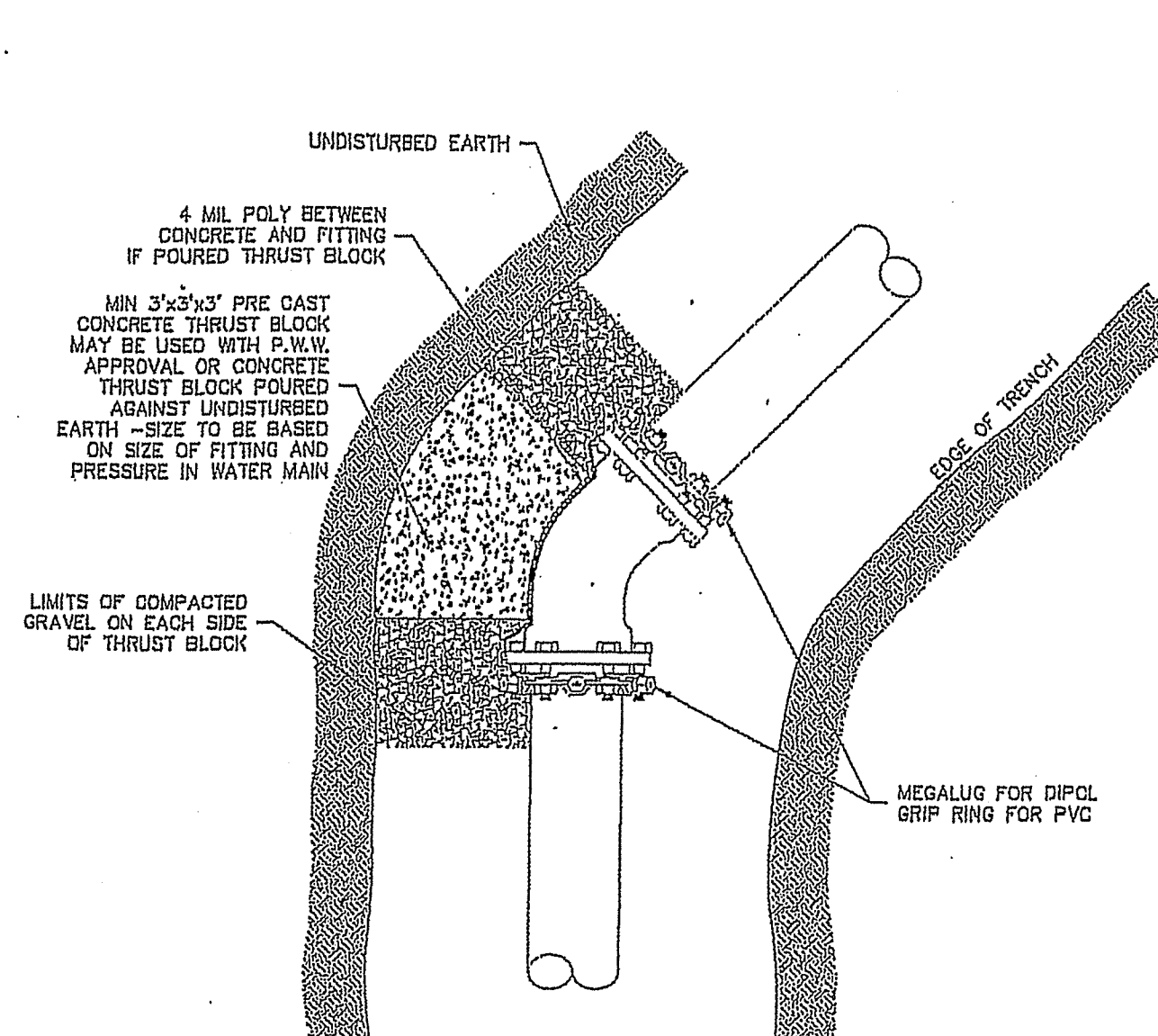


TYPICAL LARGE SERVICE AND/OR TAPPING SLEEVE

- NOTES:
1. REFERENCE CITY OF METHUEN DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR INSTALLATION OF ALL WATER LINES.
 2. ALL SPRINKLER AND DOMESTIC LEADS TO BUILDING SHALL END 5 FEET OUTSIDE THE FACE OF THE BUILDING WALL, UNLESS NOTED, AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT THE END (FOR OTHERS TO REMOVE AND EXTEND THE LINE AS NECESSARY).
 3. THRUST BLOCKS AND MEGALUG RESTRAINTS SHALL BE PROVIDED AT ALL HORIZONTAL BENDS, TEES, AND FIRE HYDRANTS. SEE DETAIL.
 4. MINIMUM COVER ON ALL WATER LINES IS 5'-6".
 5. CONTRACTOR SHALL MAINTAIN A 5'-0" HORIZONTAL (UNLESS OTHERWISE NOTED) AND 12" VERTICAL SEPARATION BETWEEN WATER SERVICE AND UTILITIES OTHER THAN SANITARY SEWER.
 6. INSPECTIONS ON WATER SERVICE INSTALLATION DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE SITE CONTRACTOR AND SHALL BE COORDINATED WITH PENNICHUCK WATER WORKS. ALL INSPECTION FEES SHALL BE PAID FOR BY THE CONTRACTOR.
 7. CONTRACTOR SHALL HAVE BACTERIOLOGICAL AND PRESSURE TESTING PERFORMED. CONTRACTOR SHALL GIVE PENNICHUCK WATER WORKS A COPY OF THE RESULTS. PENNICHUCK WATER WORKS SHALL BE ON-SITE TO WITNESS TEST.
 8. ALL PIPE, VALVES, MISCELLANEOUS MATERIALS AND INSTALLATION SHALL CONFORM TO PENNICHUCK WATER WORKS SPECIFICATIONS AND REQUIREMENTS.
 9. ALL FIRE HYDRANTS, VALVES, FITTINGS, PIPES, ETC. SHALL BE IN ACCORDANCE WITH THE CITY OF METHUEN DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
 10. METALLIC TAPE OR DETECTOR WIRE SHALL BE INSTALLED IN THE SAME TRENCH WITH ALL NONMETALLIC PIPE SUCH THAT THE PIPE MAY BE LOCATED WITH ELECTRONIC LOCATING EQUIPMENT. METALLIC TAPE OR DETECTOR WIRE SHALL BE INSTALLED APPROXIMATELY 12" TO 18" BELOW GRADE DIRECTLY ABOVE THE TOP OF THE PIPE. DETECTOR WIRE SHALL BE 14 GAUGE SOLID COPPER, SIMPLEX BW3001 OR EQUAL. METALLIC TAPE SHALL BE 2" MINIMUM METALLIZED TAPE, GRIFFOLYN COMPANY, INC., TERRAPAGE OR EQUAL.
 11. CONTRACTOR SHALL ENSURE ALL WATER VALVES ARE IN A FULLY OPEN POSITION UPON COMPLETION OF PROJECT.
 12. CONTRACTOR SHALL COORDINATE ALL WATER INTERRUPTIONS WITH THE CITY OF METHUEN AND AFFECTED PROPERTY OWNERS.

WATER SYSTEM CONSTRUCTION NOTES

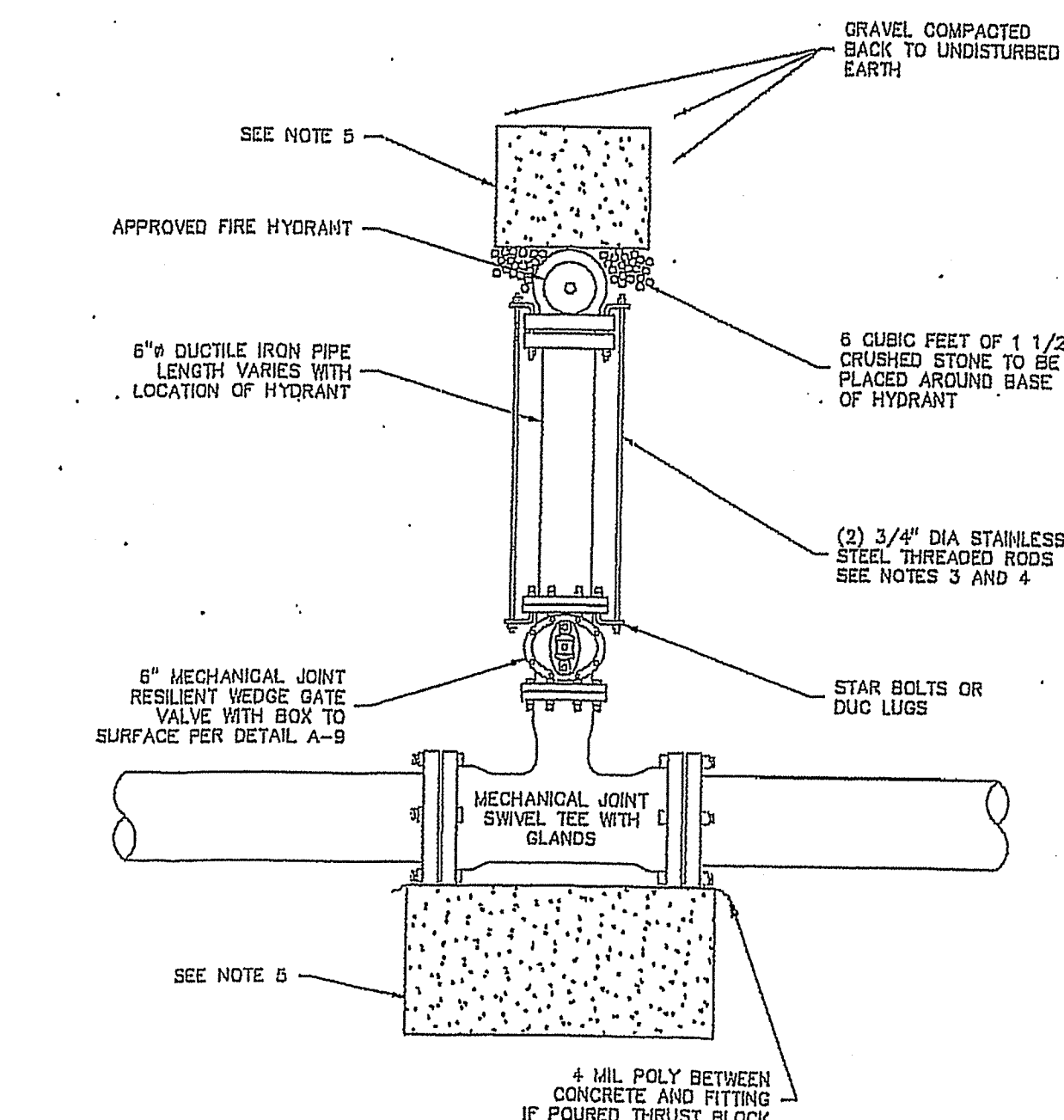
8
DT-6



- NOTES:
1. ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO METHUEN D.P.W. TECHNICAL SPECIFICATIONS.
 2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
 3. 3/4" S.S. RODS SHALL BE USED IN CONJUNCTION WITH REQUIRED S.S. NUTS. RODS ARE TO BE ATTACHED TO FITTINGS WITH EITHER STAR BOLTS OR DUC LUGS.
 4. 12" FITTING OR LARGER = (2) 3/4" S.S. RODS & ASSOC. HARDWARE. 12" FITTING OR LARGER = (1) 3/4" S.S. RODS & ASSOC. HARDWARE.
 5. MIN 3"x3"x3' PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH M.P.W. APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN. SEE DETAIL A-7.

TYPICAL THRUST BLOCK BEHIND FITTINGS

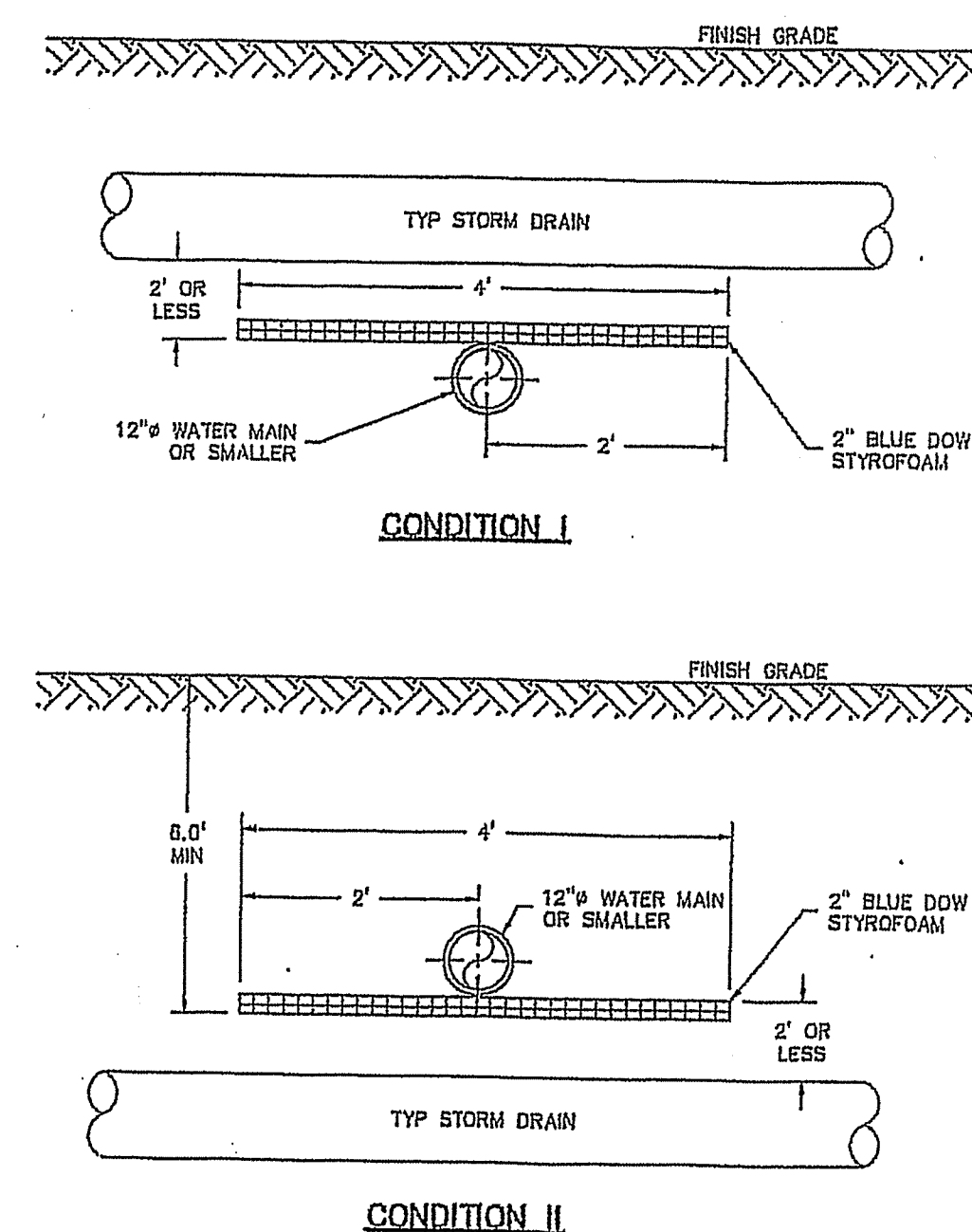
SCALE: N.T.S.
2
DT-6



- NOTES:
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TYPICAL HYDRANT INSTALLATION

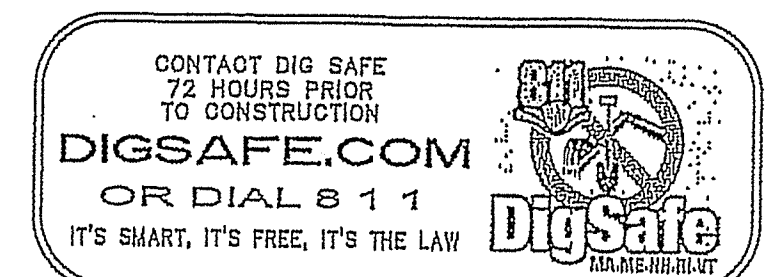
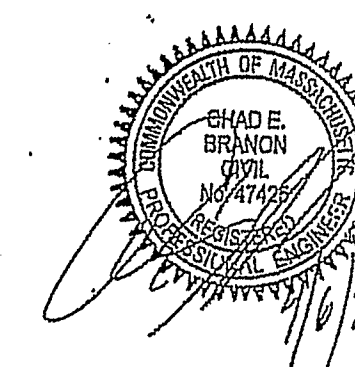
SCALE: N.T.S.
4
DT-6



- NOTES:
1. METHUEN DEPARTMENT OF PUBLIC WORKS RESERVES THE RIGHT TO MODIFY INSULATION REQUIREMENTS AS NECESSARY BASED ON FIELD CONDITIONS, ETC.
 2. THE LENGTH OR WIDTH OF INSULATION SHALL EXTEND 1 STORM DRAIN PIPE DIAMETER BEYOND THE EDGE OF STORM DRAIN PIPE IN EACH DIRECTION OR A MINIMUM OF 2' BEYOND THE CENTERLINE OF THE STORM DRAIN PIPE, WHICHEVER IS GREATER.
 3. ALL BUTT JOINT SEAMS TO BE OVERLAPPED WITH A 1' PIECE OF INSULATION CENTERED OVER SEAM.

STORM DRAIN / WATER MAIN INTERSECTING RUNS

SCALE: N.T.S.
6
DT-6



REV.	DATE	DESCRIPTION	C/O	DR	CK

WATER CONSTRUCTION DETAILS

PIE HILL WAREHOUSING

TAX MAP 1010 LOT 79-17
(46 OLD FERRY ROAD)
METHUEN, MASSACHUSETTS

PREPARED FOR:
TRIPLE G PROPERTY LLC
59 BONANNO COURT, METHUEN, MA 01844

SCALE: NONE
APRIL 4, 2022

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

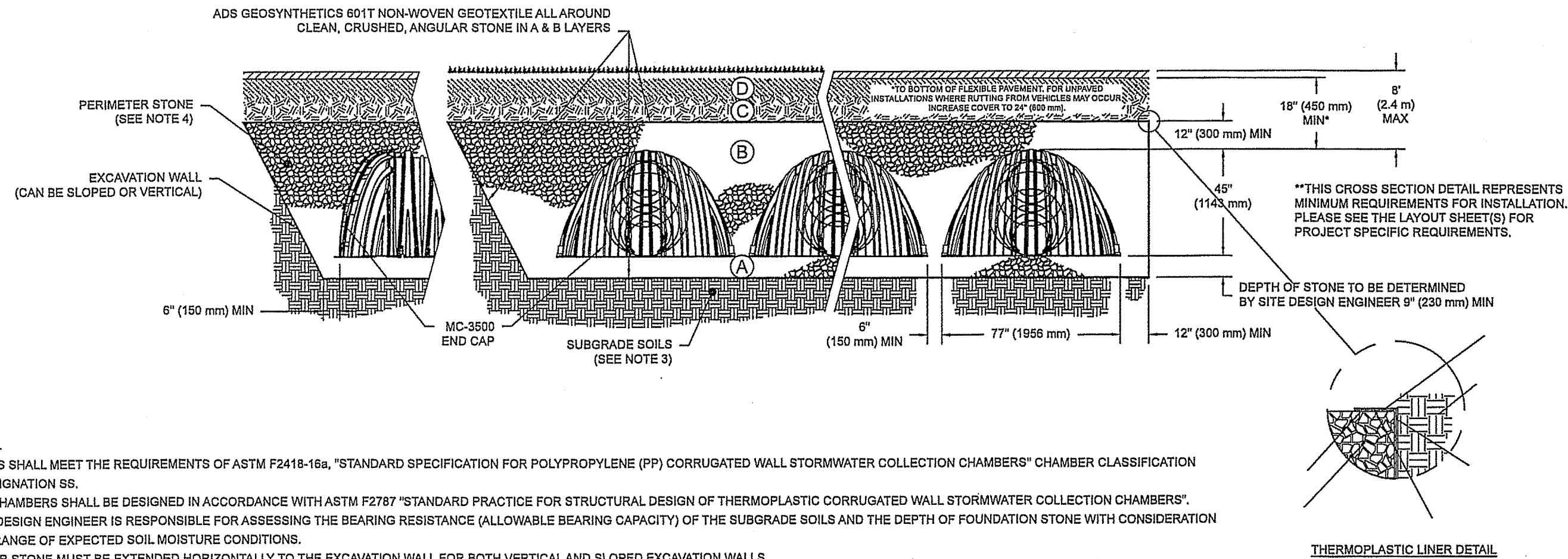
FIELDSTONE LAND CONSULTANTS, PLLC

ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M43 ¹ A-1, A-2, A-3 OR AASHTO M43 ¹ 3, 357, 4, 487, 5, 55, 57, 6, 67, 68, 7, 78, 8, 88, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ¹ 3, 4	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

PLEASE NOTE:

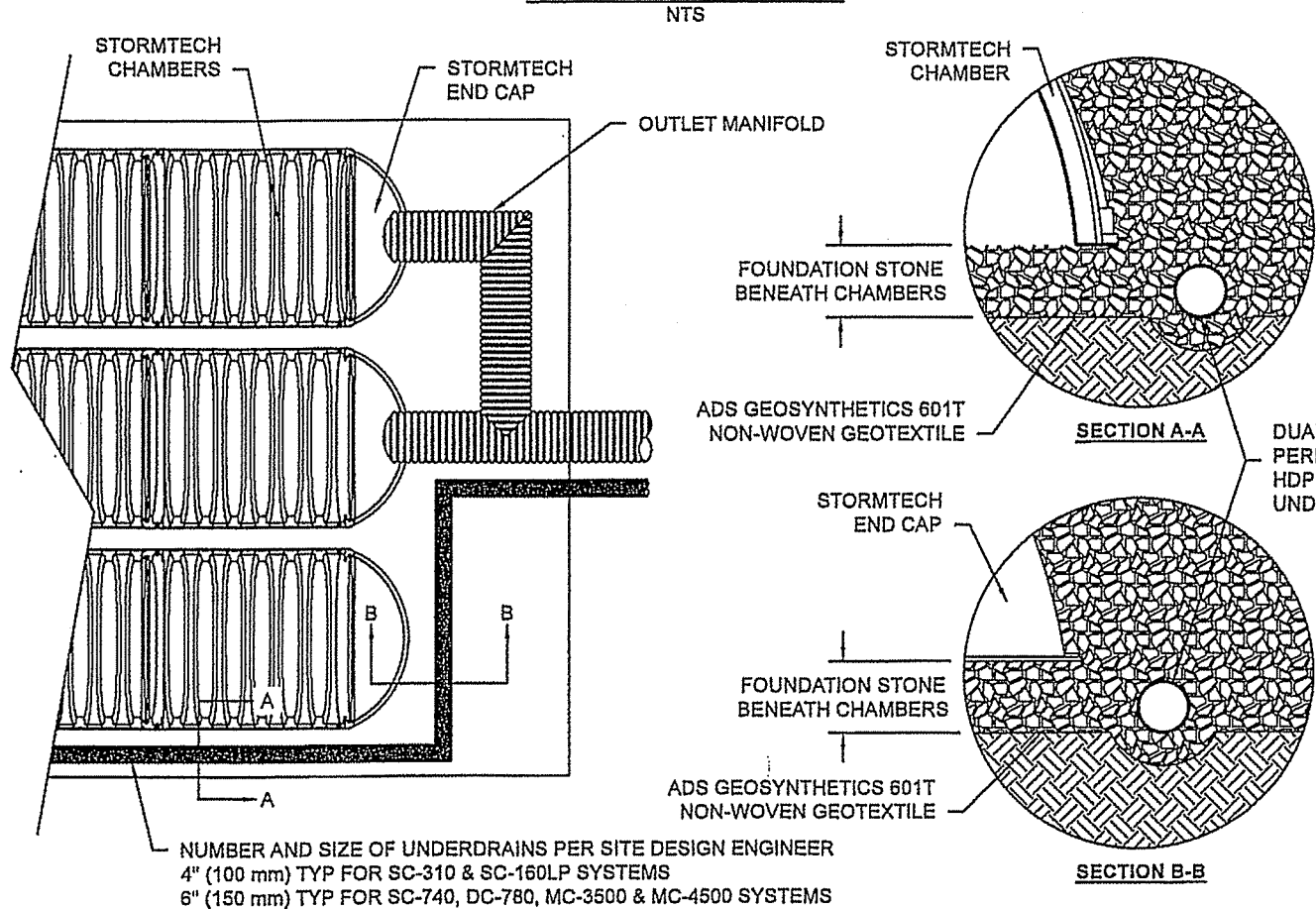
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR, FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
- STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 8" (200 mm) MAX LIFTS USING TWO FULL COVERS WITH A VIBRATORY COMPACTOR.
- WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



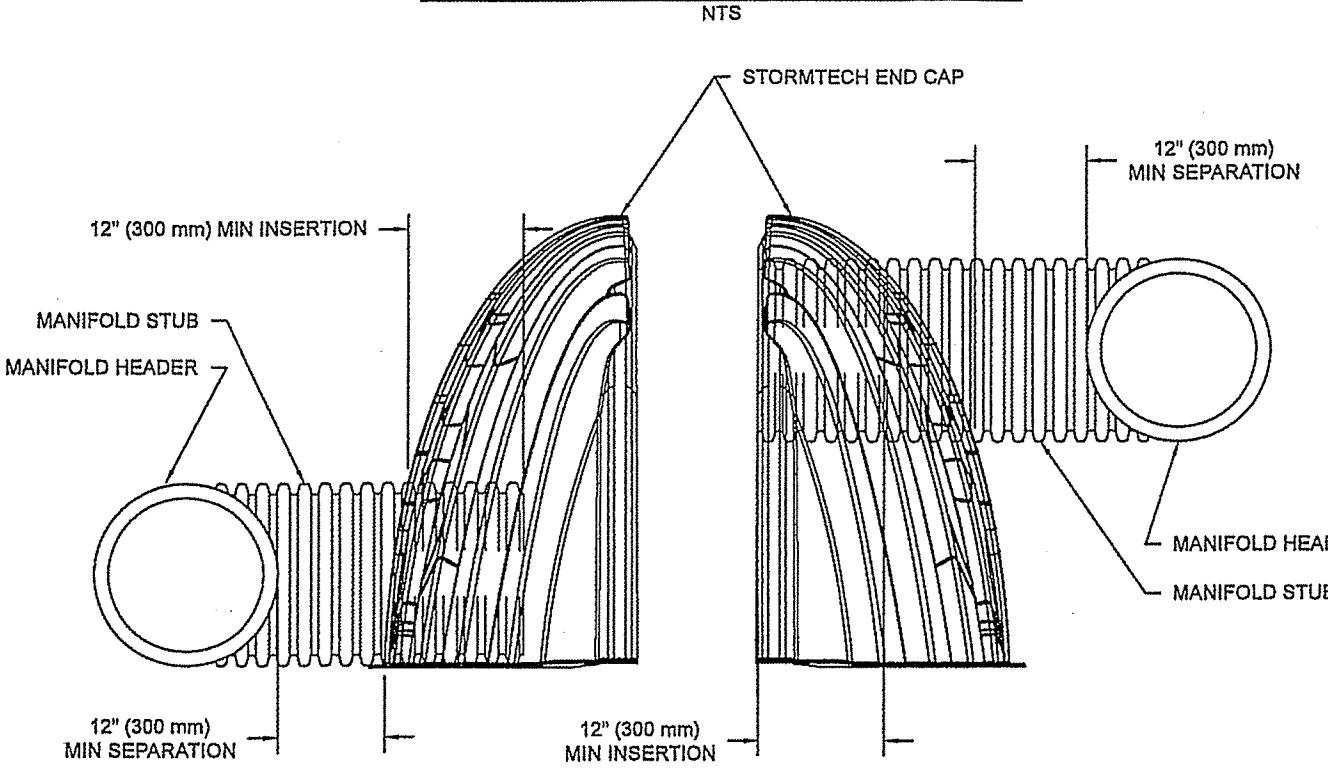
NOTES:

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16a, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 45x76 DESIGNATION SS.
- MC-3500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 500 LBS/IN. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

UNDERDRAIN DETAIL

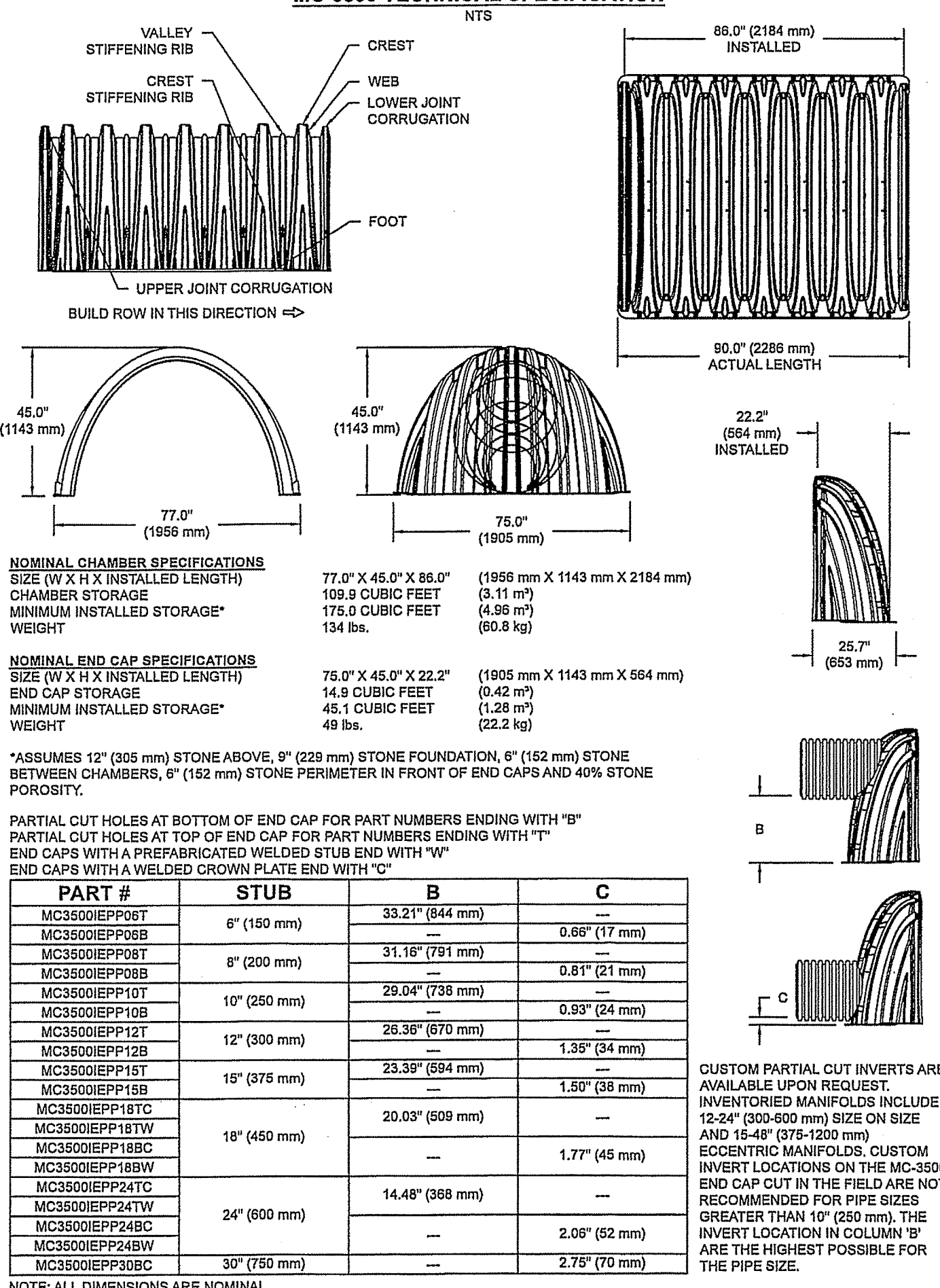


MC-SERIES END CAP INSERTION DETAIL

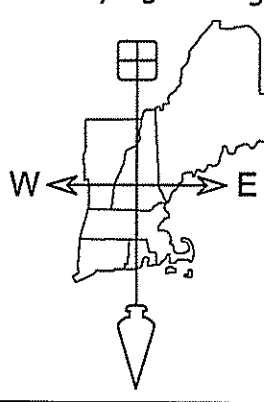
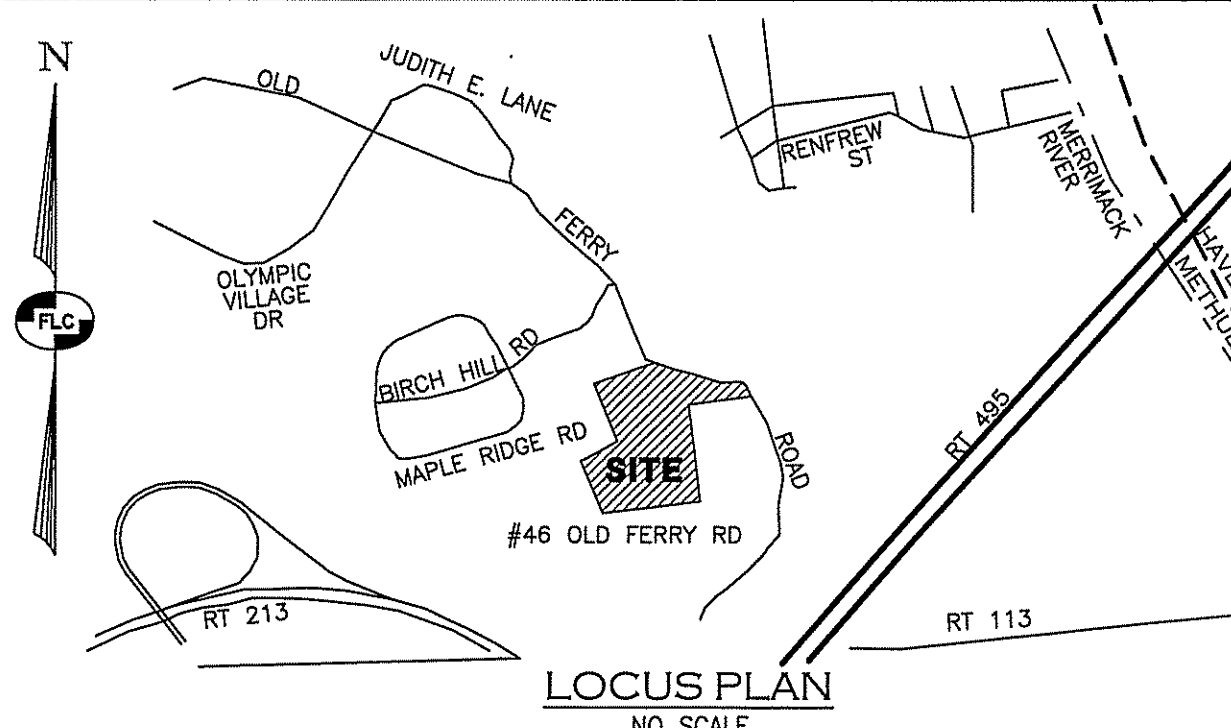
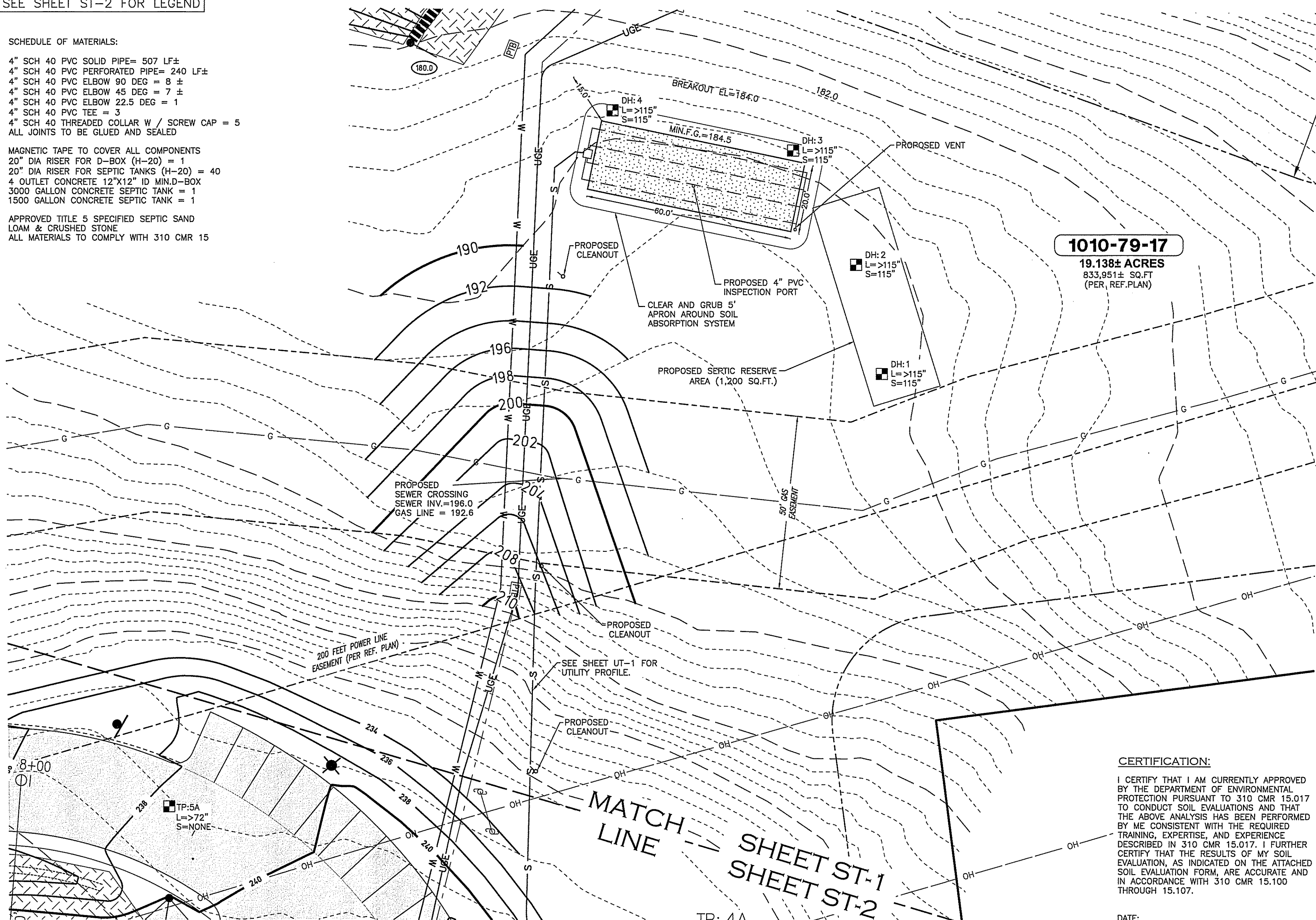


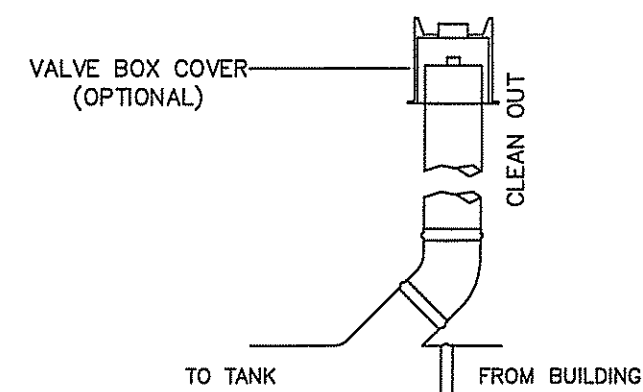
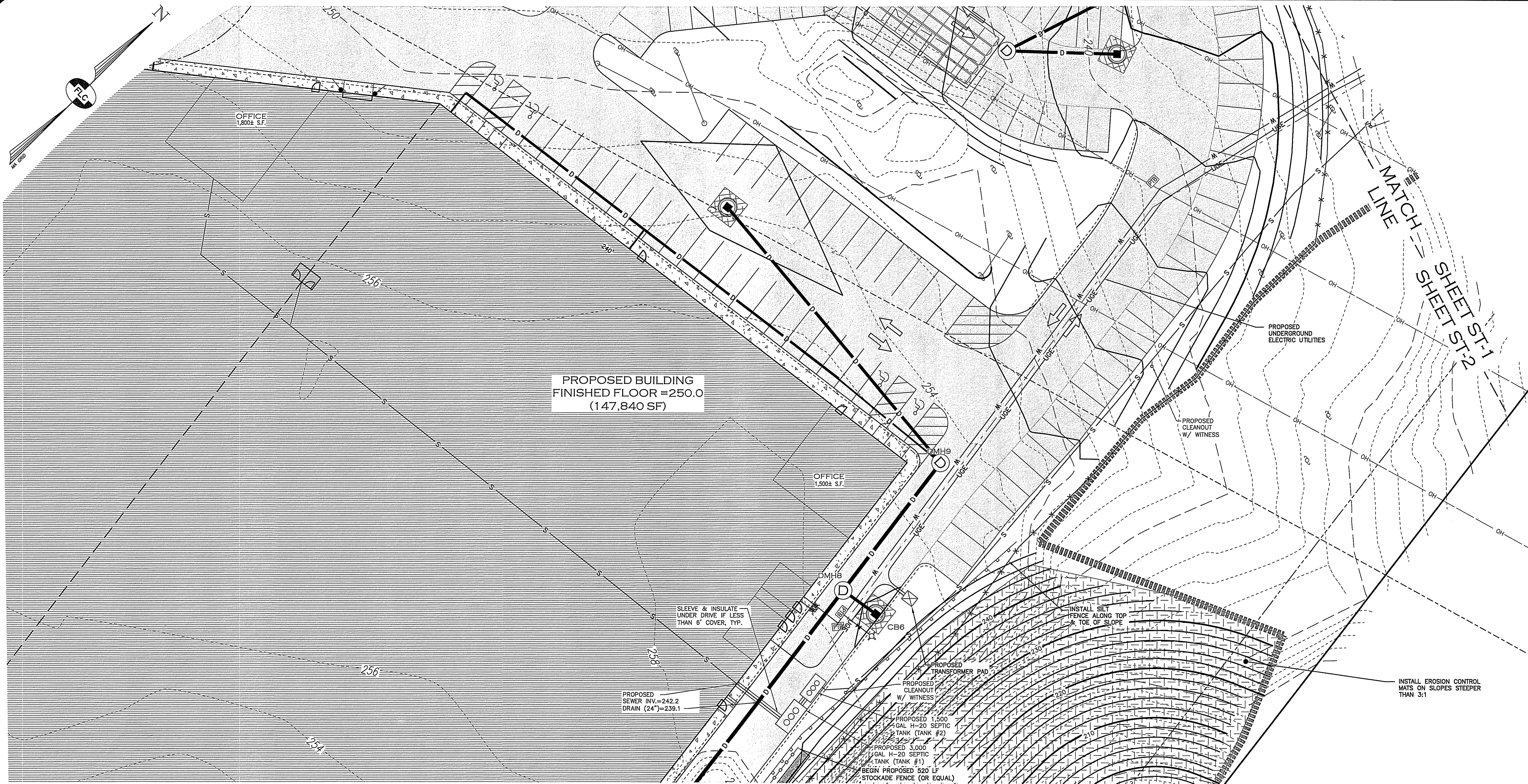
NOTE: MANIFOLD STUB MUST BE LAID HORIZONTAL FOR A PROPER FIT IN END CAP OPENING.

MC-3500 TECHNICAL SPECIFICATION



NOTE: ALL DIMENSIONS ARE NOMINAL.





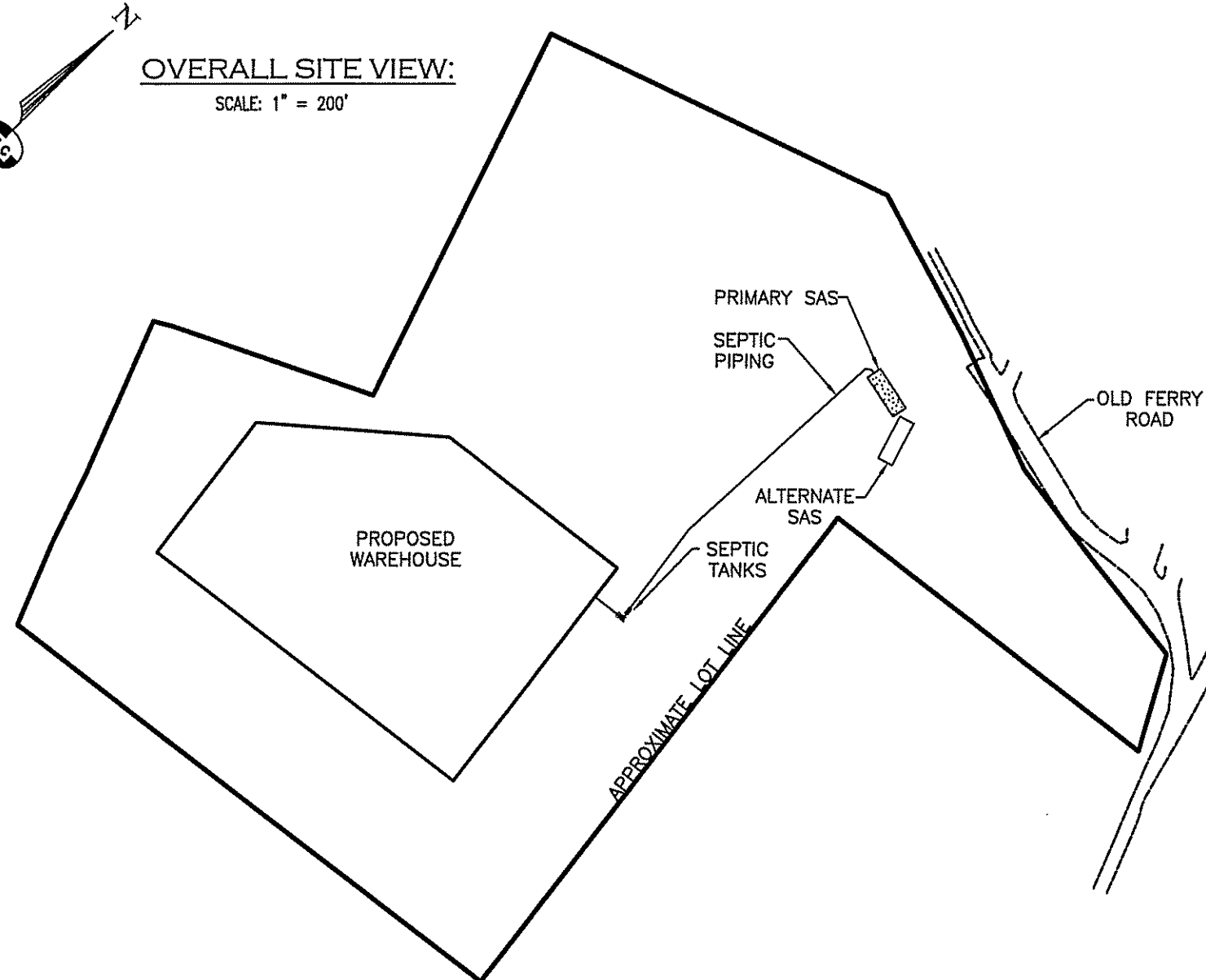
SEWER SERVICE CLEAN OUT DETAIL

SCALE: N.T.S.

1
ST-2

OVERALL SITE VIEW:

SCALE: 1" = 200'



LEGEND:

EXISTING FEATURES

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- ABUTTING LOT LINE
- BUILDING SETBACK LINE
- EXISTING EASEMENT LINE
- EDGE OF PAVED ROAD
- EDGE OF GRAVEL ROAD
- STONE WALL
- EDGE OF TREE LINE
- EDGE OF WETLANDS
- WETLANDS BUFFER LINE
- 10' CONTOUR INTERVAL
- 2' CONTOUR INTERVAL
- CHAIN-LINK FENCE
- STOCKADE FENCE
- CULVERT
- OVERHEAD UTILITY LINE
- UNDERGROUND ELECTRIC DISSAFE

- UNDERGROUND GAS LINE
- WATER LINE
- TAX MAP & LOT NUMBER
- GRANITE BOUND FOUND
- DRILL HOLE FOUND
- IRON PIN FOUND
- UTILITY POLE, GUY & LIGHT
- CATCH BASIN (SQUARE)
- WATER HYDRANT
- WATER VALVE
- WATER SHUT-OFF
- WELL
- SIGN WITH TWO POSTS
- RIP RAP
- ROCK
- BOLLARD 8" DIA 3' HEIGHT
- TEST PIT NUMBER
- LEGEND
- SEASONAL HIGH WATER

PROPOSED FEATURES

- EDGE OF PAVEMENT
- CAPE COD BERM
- SHOULDER
- UNDERGROUND UTILITY LINES AND UTILITY BOXES LOCATION
- WATER GATE VALVE
- WATER SERVICE SHUT-OFF
- ALTERNATE EDA
- PRIMARY EDA
- PAVED/GRAVEL AREA
- BUILDING
- 10 FT. CONTOUR
- 2 FT. CONTOUR
- SPOT ELEVATION
- STONE CHECK DAM
- SILT FENCE
- REINFORCED SWALE (RIPRAP OR FABRIC)
- STORM WATER DRAINAGE
- DRAIN INLET PROTECTION
- DRAIN MANHOLE



PROPOSED SEWAGE DISPOSAL SYSTEM PLAN

TRIPLE G. LLC

TAX MAP 1010 LOT 79-17
METHUEN, MASSACHUSETTS

ST-2
SHEET

PROJECT NO. 2295.01

SHEET NO. 28 OF 29

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

FIELDSTONE
LAND CONSULTANTS PLLC

208 Elm Street, Milford, NH 03055
Phone: (603)-413-5456 Fax: (603)-413-5456
www.FieldstoneLandConsultants.com

REV	DATE	DESCRIPTION	DR	CK
A	4/6/22	REV. UTILITIES/GRADING/DRAINAGE	KMR	CEB
B	6/28/22	METHUEN B.O.D. 5/10/22 COMMENTS	KMR	CEB
C	7/22/22	METHUEN B.O.D. 7/20/22 COMMENTS	KMR	CEB
D	2/14/23	REVISED UTILITY LAYOUT, BLDG. ELEV. & RELOCATED SEPTIC TANKS 1 & 2	KMR	CEB

PLANS ISSUED FOR:
PERMITTING

SCALE: 1" = 20' HORIZ.

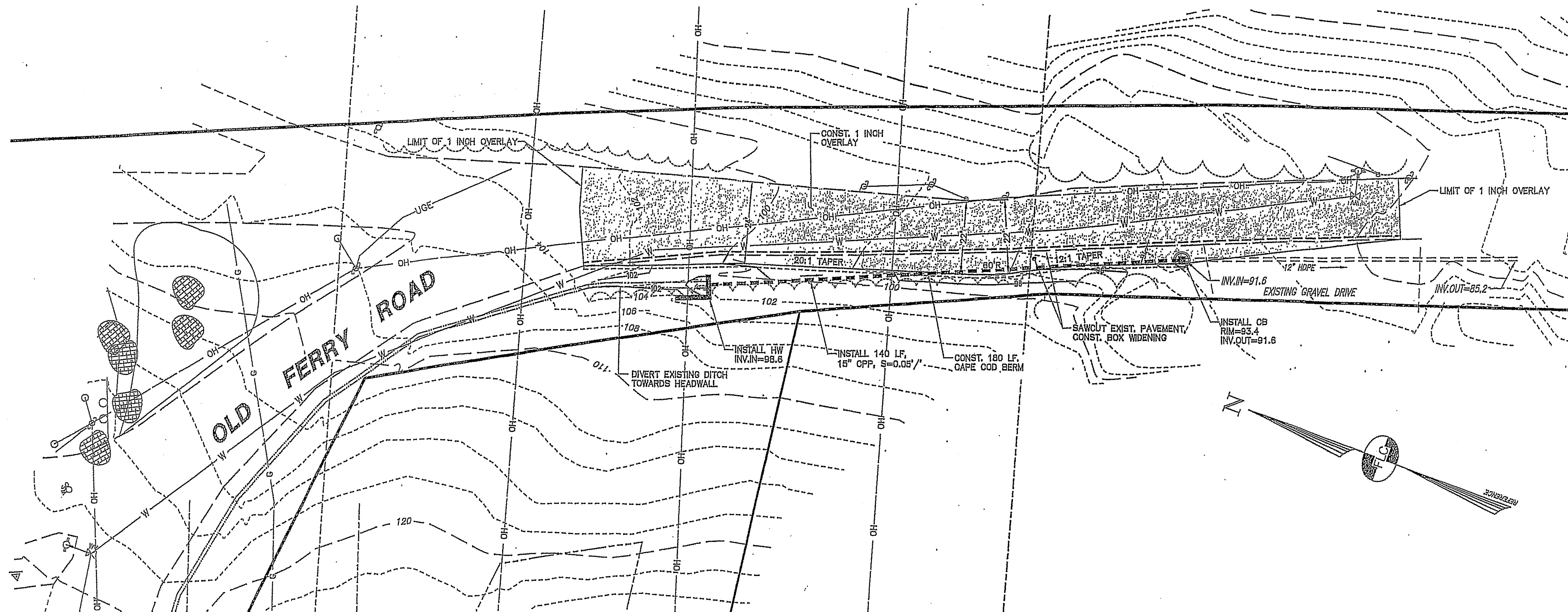
FILE: 2295.ST01E.dwg

LEGEND:

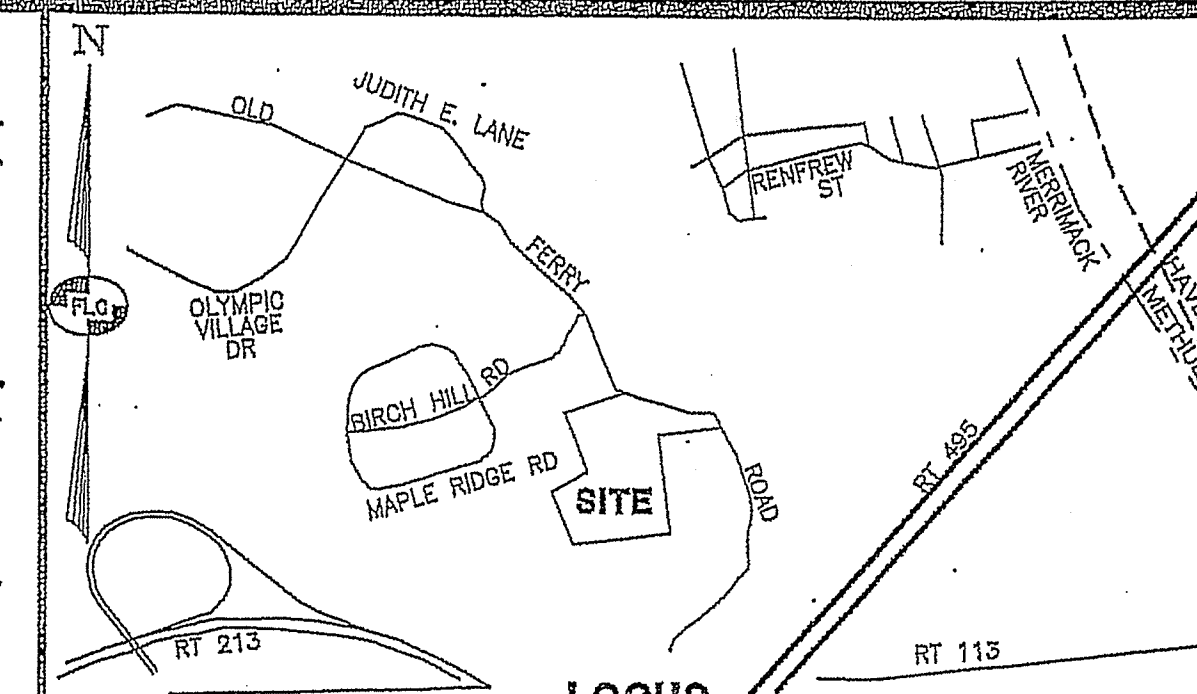
- EXISTING FEATURES**
- RIGHT-OF-WAY LINE
 - BOUNDARY LINE
 - ABUTTING LOT LINE
 - BUILDING SETBACK LINE
 - EXISTING EASEMENT LINE
 - EDGE OF PAVED ROAD
 - EDGE OF GRAVEL ROAD
 - STONE WALL
 - EDGE OF TREE LINE
 - EDGE OF WETLANDS
 - WETLANDS BUFFER LINE
 - 10' CONTOUR INTERVAL
 - 2' CONTOUR INTERVAL
 - CHAIN-LINK FENCE
 - STOCKADE FENCE
 - CULVERT
 - OVERHEAD UTILITY LINE
 - UNDERGROUND ELECTRIC DISSAFE
 - UNDERGROUND GAS LINE
 - WATER LINE
- 1010-79-17**
- TAX MAP & LOT NUMBER
 - GRANITE BOUND FOUND
 - DRILL HOLE FOUND
 - IRON PIN FOUND
 - UTILITY POLE, GUY & LIGHT
 - CATCH BASIN (SQUARE)
 - WATER HYDRANT
 - WATER VALVE
 - WATER SHUT-OFF
 - WELL
 - SIGN WITH TWO POSTS
 - RUP RAP
 - ROCK
 - BOLLARD 6" DIA 3' HEIGHT

PROPOSED FEATURES:

- EDGE OF PAVEMENT
- 2 FT. CONTOUR
- 10 FT. CONTOUR
- WATER SERVICE
- SILT SACK
- CATCH BASIN
- PAVED/GRAVEL AREA
- SPOT GRADE
- LIMITS OF CLEARING

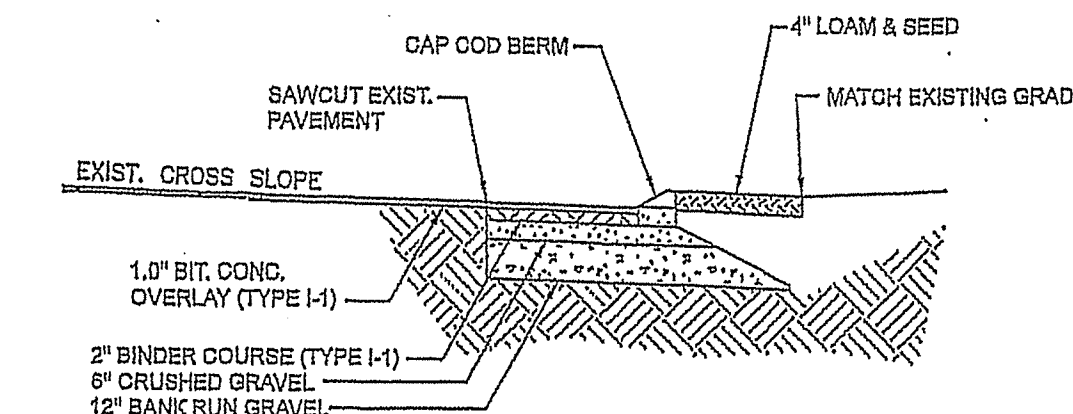
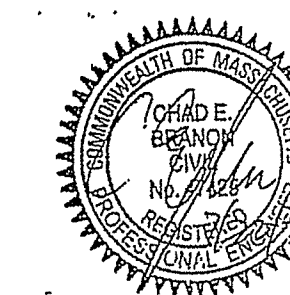


OFF SITE IMPROVEMENT PLAN

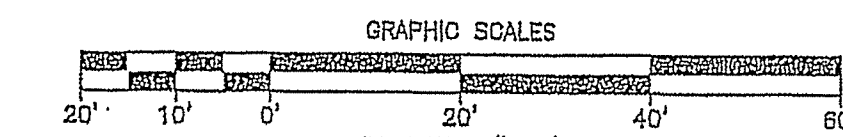


NOTE:

1. ALL OFF-SITE IMPROVEMENTS TO BE CONSTRUCTED BY OTHERS.



BOX WIDENING DETAIL



REV.	DATE	DESCRIPTION	C/O	DR	CK
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OFF SITE IMPROVEMENT EXHIBIT PLAN

PIE HILL WAREHOUSING

TAX MAP 1010 LOT 79-17
(46 OLD FERRY ROAD)
METHUEN, MASSACHUSETTS

PREPARED FOR AND LAND OF:
TRIPLE G PROPERTY LLC
59 BONANNO COURT, METHUEN, MA 01844

SCALE: 1" = 20' APRIL 4, 2022

Surveying + Engineering + Land Planning + Permitting + Septic Designs

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